65'x80' WORKSHOP

MAYNARD AND VERA SHANTZ

123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO. NOC 2A0 INSPECTION SCHEDULE **CALL ANDREA, 519-323-1527 TO SCHEDULE AN INSPECTION**

1. FOOTINGS: WHEN THE CONCRETE FORM WORK AND REINFORCING STEEL HAVE BEEN SET FOR THE PLACEMENT OF THE FOOTINGS. THE SUB GRADE WILL ALSO BE INSPECTED FOR THE REQUIRED BEARING CAPACITY.

2. WALLS: WHEN THE CONCRETE FORM WORK AND REINFORCING STEEL HAVE BEEN SET FOR THE PLACEMENT OF THE WALLS.

3. WOOD/STEEL FRAMING

4. FINAL REVIEW: WHEN ALL THE STRUCTURAL COMPONENTS OF THE FACILITY HAVE BEEN COMPLETED.

	SHEET SCHEDULE					
TAG	TAG DESCRIPTION TAG DESCRIPTION TAG DESCRIPTION					
00	COVER SHEET	S2	FLOOR PLAN	S8	STRUCTURAL DETAILS #4	
SP1	ENLARGED SITE PLAN	S3	SECTION "A" (BUILDING SECTION)	S9	UNIVERSAL WASHROOM	
SP2	PARKING AND LOADING	S4	OFFICE DETAILS	S10	SOUTH ELEVATION + WEST ELEVATION	
SP3	SVCA SITE PLAN	S5	STRUCTURAL DETAILS #1	S11	NORTH ELEVATION + EAST ELEVATION	
N1	GENERAL NOTES + O.B.C.	S6	STRUCTURAL DETAILS #2	S12	RENDERS	
S1	FOUNDATION PLAN	S7	STRUCTURAL DETAILS #3			

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ENG	ENGINEER							

ENGINEER:



OWNER:

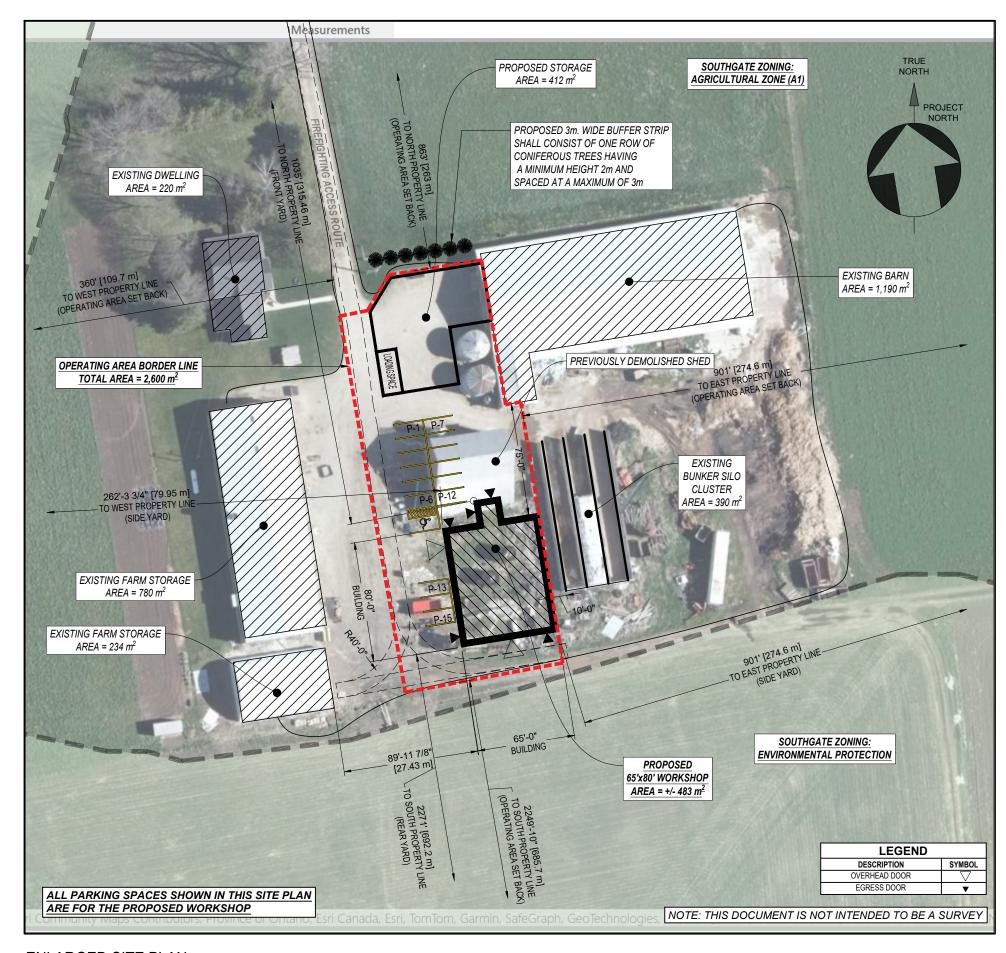
MAYNARD AND VERA SHANTZ 123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

65'x80' WORKSHOP 123812 SOUTHGATE ROAD 12

HOLSTEIN, ONTARIO NOG 2A0

COVER SHEET DWG FILE:
DRAWN BY: 2025.131 - Maynard and Vera Shantz - New Work Shop JOB#: 2025.131 RMM

CHECKED BY:
REVISION:
DATE: H.B. N/A DATE: OCT. 21, 2025 AS NOTED





KEY PLAN SCALE 1"=2,500'

PARCEL DESCRIPTION			
ARN	420706000400300		
MUNICIPALITY	Township of Southgate		
PRIMARY ADDRESS	123812 SOUTHGATE ROAD 12		
LEGAL DESCRIPTION	CON 11 LOT 8		
ZONING Agricultural Zone (A1)			

	•	ultural Zone (A1) Zoning By-Law 19-2002)	
	DESCRIPTION	MINIMUM/MAXIMUM ZONING REQUIREMENTS	PROVIDED
6.1	PERMITTED USES	Uses, buildings or structures accessory to a permitted use	COMPLIES
6.2 a)	REGULATIONS - Minimum Lot Area	40 hectares	41.97 ha
6.2 b)	REGULATIONS - Minimum Lot Frontage	200 metres	414.91 m
6.2 c)	REGULATIONS - Maximum Lot Coverage	7 per cent	0.6764% (2,839 m ²)
6.2 d)	REGULATIONS - Minimum Front Yard	20 metres except that the minimum front yard for an agricultural building and/or Temporary farm Help Accommodation shall be 40 metres	315.4 m
6.2 e)	REGULATIONS - Minimum Side Yard	15 metres except that a minimum side yard abutting an improved public street shall be 20 metres.	EAST 274.6 m WEST 75.14 m
6.2 f)	REGULATIONS - Minimum Rear Yard	15 metres	692.2 m

3.2.5.5. LOCATION OF ACCESS ROUTES (OBC 2024)

- Access routes for firefighting shall be located so that the principal entrance is located not less than 3 m (9'-10") and not more than 15 m (49'-3") from the closest portion of the access route required for fire department use, measured horizontally from the face of the building.
- Access routes shall be provided to a building so that,
- for a building provided with a fire department connection, a fire department pumper vehicle can be located adjacent to the hydrants referred to in Article 3.2.5.16., 2.b.
- 2.2. for a building not provided with a fire department connection, a fire department pumper vehicle can be located so that the length of the access route from a hydrant to the vehicle plus the unobstructed path of travel for the firefighter from the vehicle to the building is not more than 90 m (295-3"), and
- 2.3. the unobstructed path of travel for the firefighter from the vehicle to the building is not more than 45 m (147'-8").
- The unobstructed path of travel for the firefighter required by Sentence (2) from the vehicle to the building shall be measured from the vehicle to the fire department connection provided for the building, except that if no fire department connection is provided, the path of travel shall be measured to the principal entrance of the building.
- 4. If a portion of a building is completely cut off from the remainder of the building so that there is no access to the remainder of the building, the access routes required by Sentence (2) shall be located so that the unobstructed path of travel from the vehicle to one entrance of each portion of the building is not more than 45 m (147'-8")

3.2.5.6 ACCESS ROUTE DESIGN (OBC 2024)

- 1. A portion of a roadway or yard provided as a required access route for fire department use shall,
- 1.1. have a clear width not less than 6 m, unless it can be shown that lesser widths are satisfactory,
- 1.2. have a centreline radius not less than 12 m,
- 1.3. have an overhead clearance not less than 5 m,
- 1.4. have a change of gradient not more than 1 in 12.5 over a minimum distance of 15 m,
- 1.5. be designed to support the expected loads imposed by firefighting equipment and be surfaced with concrete, asphalt or other material designed to permit accessibility under all climatic conditions,
- 1.6. have turnaround facilities for any dead-end portion of the access route more than 90 m long, and
- 1.7. be connected with a public thoroughfare.

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ENGINEER:



OWNER:

MAYNARD AND VERA SHANTZ 123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

PROJECT NAME / LOCATION:

65'x80' WORKSHOP

123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

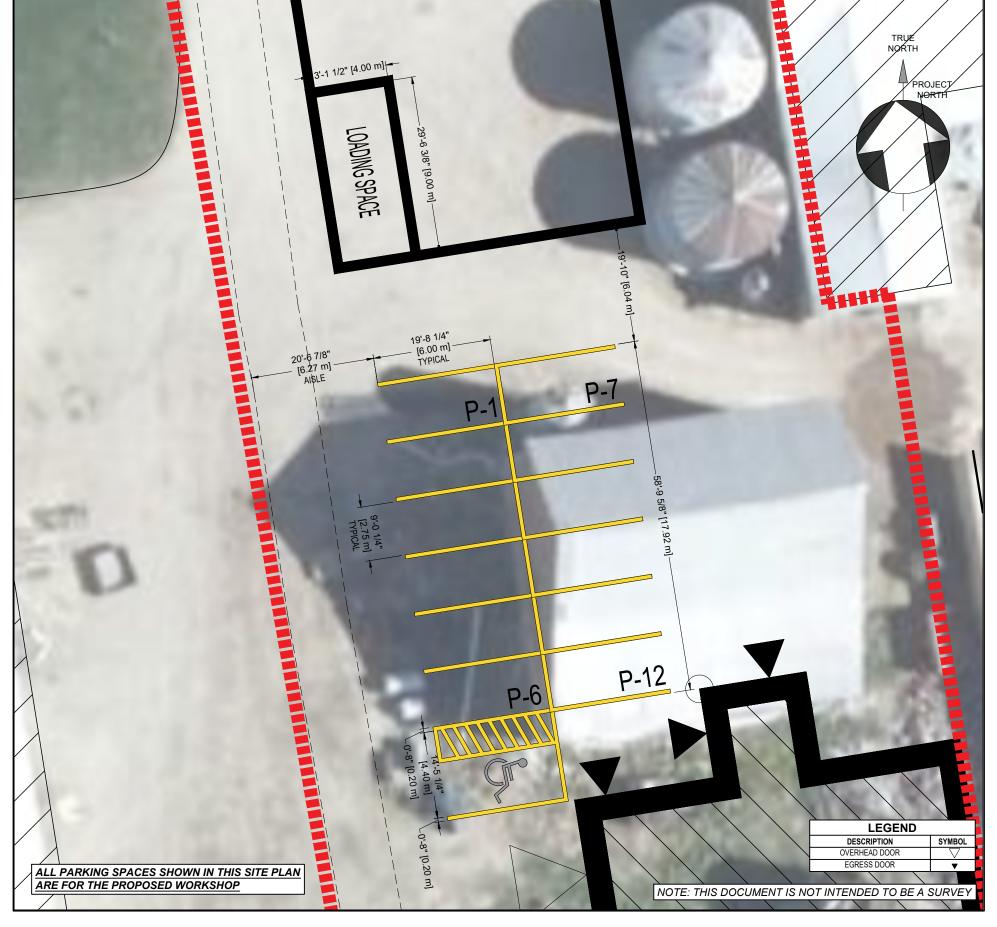
SHEET TITLE:

ENLARGED SITE PLAN

2025.131

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ZE	DWG FILE: DRAWN BY:	2025.131 - Maynard and Ve	era Shantz - New W
		R.Z.	JOB#:
Ш	CHECKED BY:	H.B.	
SHEET	REVISION:	N/A	
တ	DATE:	OCT. 21, 2025	
	SCALE:	AS NOTED	

ENLARGED SITE PLAN SCALE 1/164" = 1'-0"





KEY PLAN
SCALE 1"=2,500'

	PARCEL DESCRIPTION			
ARN	420706000400300			
MUNICIPALITY	Township of Southgate			
PRIMARY ADDRESS	123812 SOUTHGATE ROAD 12			
LEGAL DESCRIPTION	CON 11 LOT 8			
ZONING	Agricultural Zone (A1)			

ZUNING	Agricuit	urai Zone (AT)			
	Section 5: General Provisions				
	DESCRIPTION	ngate Zoning By-Law 19-2002) MINIMUM/MAXIMUM ZONING REQUIREMENTS	PROVIDED		
5.7 (a)	PARKING REGULATIONS - Parking Space Requirement - Industrial Establishments	5 parking spaces plus 1 per 50 square metre (538.2 sq. feet) or fraction thereof of gross floor area	15 PARKING SPACES		
5.7 (b)	PARKING REGULATIONS - Parking Space Dimension	For the purpose of this Subsection, a parking space shall have a minimum length of 5.75 metres and minimum width of 2.75 metres measured at right angles to the length.	COMPLIES		
5.7 (i) (i)	PARKING REGULATIONS - Access	Access to the required parking spaces and parking areas shall be provided by means of unobstructed driveways or passageways at least 3 metres, but not more than 9 metres in width	COMPLIES		
5.7 (i) (ii)	PARKING REGULATIONS - Access	The aisles between parking spaces within a parking area shall have a minimum width of 6 metres;	COMPLIES		
5.10	PARKING SPACES FOR THE HANDICAPPED	is in excess of 20 parking spaces, 1 space of the first 20 spaces required and 1 space out of each additional 100 spaces or portion thereof shall be provided near and accessible to the point of entrance to the building and clearly marked for the parking of vehicles used by disabled person or persons. Notwithstanding the above Hospitals shall be required to provide 1 space out of the first 20 spaces, 2 spaces up to 60 spaces and 3 spaces up to 100 spaces, and for every portion in excess of 100 spaces one additional disabled space. Parking spaces for the disabled shall have a minimum width of 4.4 metres (14.4 feet) and a minimum length of 6 metres (19.6 feet).	1 PARKING SPACE		
5.14	LOADING SPACE REQUIREMENTS	The owner or occupant of any lot, building or structure in a Commercial or Industrial Zone, erected or used for any purpose involving the receiving, shipping, loading, or unloading of persons, animals, goods, wares, merchandise, or raw materials, shall provide and maintain at the premises, on the lot occupied by the building or structure and not forming part of a street or land, within the Zone in which such use is located, loading and unloading spaces 9 metres long, 4 metres wide, and having a vertical clearance of at least 5 metres and in accordance with the following: 0 to 500 square metres 1 space	1 LOADING SPACE		

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OWNER:

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PROJECT NAME / LOCATION:

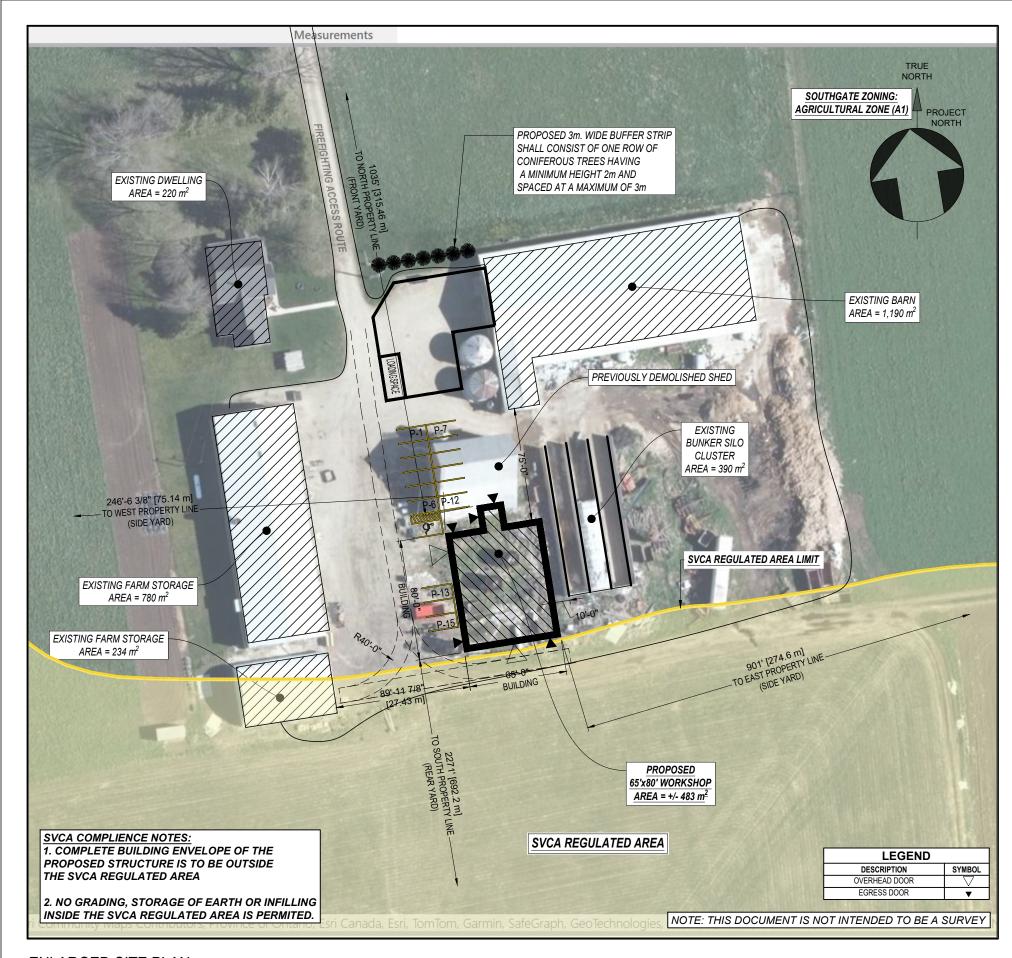
65'x80' WORKSHOP 123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

SHEET TITLE:

PARKING AND LOADING SPOT PLAN

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၂	DWG FILE:	era Shantz - New	Work Shop	
ñ	DRAWN BY:	R.M.M.	JOB#:	2025.13
П	CHECKED BY:	H.B.		
빝	REVISION:	N/A	C	Do
n	DATE:	OCT. 21, 2025		Γ /
	SCALE:	AS NOTED		

PARKING AND LOADING SPACE PLAN
SCALE 1/16" = 1'-0"





KEY PLAN SCALE 1"=2,500'

PARCEL DESCRIPTION			
ARN	420706000400300		
MUNICIPALITY	Township of Southgate		
PRIMARY ADDRESS	123812 SOUTHGATE ROAD 12		
LEGAL DESCRIPTION	CON 11 LOT 8		
ZONING	ZONING Agricultural Zone (A1)		

	Section 6: Agricultural Zone (A1) (Township of Southqate Zoning By-Law 19-2002)					
	DESCRIPTION	MINIMUM/MAXIMUM ZONING REQUIREMENTS	PROVIDED			
6.1	PERMITTED USES	Uses, buildings or structures accessory to a permitted use	COMPLIES			
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- 1.4. have a change of gradient not more than 1 in 12.5 over a minimum distance of 15 m,
- be designed to support the expected loads imposed by firefighting equipment and be surfaced with concrete, asphalt or other material designed to permit accessibility under all climatic conditions,
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ENGINEER:



OWNER

MAYNARD AND VERA SHANTZ 123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

PROJECT NAME / LOCATION:

65'x80' WORKSHOP

123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

SHEET TITLE:

SVCA SITE PLAN

ENLARGED SITE PLAN SCALE 1/128" = 1'-0"

GENERAL NOTES:

DESIGN PARAMETERS: OBC 2024 - PART 9

- ALL WORK ON THIS PROJECT SHALL CONFORM TO THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT.
- 2. OWNER & GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS. SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- DRAWINGS ARE NOT TO BE SCALED.
- GENERAL REVIEW OF THE CONSTRUCTION MUST BE COMPLETED BY THE TOWNSHIP BUILDING OFFICIAL(S) OR A LICENSED PROFESSIONAL ENGINEER OR BOTH. ALL ENGINEERING REPORTS, IF REQUESTED BY THE TOWNSHIP, ARE TO BE FORWARDED TO THE BUILDING DEPARTMENT. INSPECTIONS MAY INCLUDE BUT ARE NOT LIMITED TO:
- FOOTINGS AND WALLS (PRIOR TO POURING)
- CONCRETE REINFORCING (PRIOR TO POURING)
- STRUCTURAL STEEL

CONCRETE SPECIFICATIONS

- ALL CONCRETE CONSTRUCTION IS TO CONFORM TO CAN/CSA-A 23.1, 23.2, AND 23.3.
- ALL CONCRETE DESIGN IS TO CONFORM TO CAN/CSA-A23.3.
- 3. CONCRETE USES SHALL HAVE THE FOLLOWING CLASSES AND ASSOCIATED PHYSICAL PROPERTIES:

		COMPSTRENGTH	W/C	AIR
LOCATION	CLASS	AT 27 DAYS	RATIO	ENTRAINMENT
EXTERIOR STRUCTURALLY REINFORCED SLABS	C-1	35 MPa	0.40	5% - 8%
EXTERIOR UNREINFORCED SLABS ON GRADE, CURBS	C-2	32 MPa	0.45	5% - 8%
EXTERIOR WALLS, COLUMNS OR PIERS	F-2	25 MPa	0.55	4% - 7%
INTERIOR FLOOR SLABS	N-1	25 MPa	0.55	4% - 7%
FOOTINGS	N-2	20 MPa	0.55	NOT REQ'D

- KEEP CONCRETE FROM RAPIDLY LOSING MOISTURE. CONCRETE SHOULD BE KEPT MOIST DURING THE FIRST THREE DAYS OF CURING.
- DO NOT ALLOW CONCRETE TO FREEZE FOR A MINIMUM OF 10 DAYS AFTER PLACEMENT.
- INSTALL CONTROL JOINTS AT A SPACING OF 20 TIMES THE AVERAGE WALL THICKNESS, IN BOTH SIDES OF ALL WALLS. DO NOT CUT REBAR.
- CALCIUM CHLORIDE OR ANY ADMIXTURE CONTAINING CALCIUM IS NOT TO BE USED IN CONCRETE.
- CUT CONCRETE SLAB A MIN. OF 20 TIMES THE SLAB THICKESS ONE DAY AFTER POURING. CUT 1/4 OF SLAB THICKNESS. DO NOT CUT REINFORCING STEEL.

REBAR SPECIFICATIONS

- ALL REBAR TO BE GRADE 400:
- 2. ALL REBAR BEND DIAMETERS SHALL CONFORM TO CAN/CSA-A23.1. REBAR BENDING SHALL NOT COMPROMISE THE REBAR IN ANYWAY
- REBAR SPLICE LENGTHS
 - 10M BARS = 18" (450mm) MIN.
 - 15M BARS = 24" (600mm) MIN.20M BARS = 30" (750mm) MIN.
 - 25M BARS = 48" (1200mm) MIN.
- 4. REBAR CONCRETE COVER:
- 1 1/2" (40mm) FOR CONCRETE PLACED IN FORMWORK FOR 15M OR SMALLER
- 2" (50mm) FOR CONCRETE PLACED IN FORMWORK FOR 20M OR LARGER
- 2 1/2" (65mm) FOR SLAB ON GRADE, TOP OF SLAB TO TOP
- 3" (75mm) FOR CONCRETE PLACED AGAINST THE EARTH (BOTTOM OF FOOTINGS)

WOOD SPECIFICATIONS

- FRAMED WALLS ARE TO BE WIND BRACED AT ALL CORNERS IN BOTH
- LUMBER SHALL BE SPF No. 1/2 OR BETTER UNLESS NOTED OTHERWISE. MOISTURE CONTENT SHALL BE 19% OR LESS.
- LUMBER SHALL NOT BE NOTCHED OR DRILLED IN THE FIELD.

SOIL/SUBGRADE SPECIFICATIONS

WITH GRANULAR AND COMPACTED

FOOTINGS OR FLOATING SLABS.

FOUNDATION.

1. PREPARE THE AREA FOR THE PROPOSED STRUCTURE BY REMOVING

2. ENSURE MIN. 24" OF FREE DRAINING COMPACTED GRANULARS UNDER

IF ANY "SOFT AREAS" OR SOIL THAT IS NOT NATIVE IS ENCOUNTERED

DURING EXCAVATION IT IS TO BE SUB EXCAVATED, REMOVED, FILLED

DO NOT ALLOW SOIL TO FREEZE AND FROST TO DEVELOP UNDER ANY

ALL TOPSOIL & ORGANIC MATERIAL FROM THE AREA OF THE

CONCRETE SLABS TO PREVENT UNEQUAL FROST HEAVE.

- WOOD IS NOT PERMITTED TO BEAR DIRECTLY ON MASONRY OR CONCRETE WITHOUT BEING PRESSURE TREATED.
- PROVIDE SOLID WOOD HORIZONTAL BLOCKING AT MAXIMUM 1.2m (48") O.C. FOR ALL FRAMED WALLS.
- ALL NAILS USED SHALL CONFORM TO STEEL WIRE NAILS AND SPIKES AS DEFINED IN CSA STANDARD B111 "WIRE NAILS, SPIKES AND STAPLES" UNLESS
- ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD ARE TO BE HOT DIP GALVANIZED (TO CSA-G164) OR STAINLESS STEEL.
- ALL WOOD FRAMING, BOTH DESIGN AND CONSTRUCTION, IS TO CONFORM TO: CAN/CSA-086 -19 - "ENGINEERING DESIGN IN WOOD".

STRUCTURAL STEEL NOTES:

- ALL STRUCTURAL STEEL FRAMING SHALL BE COMPLETED BY AN EXPERIENCED ERECTOR
- ALL STRUCTURAL STEEL BEAMS AND COLUMNS SHALL CONFORM TO CAN/CSA G40.21 GRADE 350W UNLESS NOTED OTHERWISE
- ALL STRUCTURAL STEEL CHANNELS AND ANGLES SHALL CONFORM TO CAN/CSA G40.21 GRADE 300W UNLESS NOTED OTHERWISE
- ALL HSS SHALL CONFORM TO CAN/CSA G40.21 GRADE 350W (CLASS C) UNLESS NOTED OTHERWISE
- ALL STEEL PLATE TO BE A36 (250W MPa) MATERIAL (MIN.)
- ALL STRUCTURAL STEEL SHALL BE NEW MATERIAL UNLÉSS APPROVED BY THE DESIGN ENGINEER.
- STRUCTURAL STEEL MEMBERS SHALL NOT BE SPLICED WITHOUT THE WRITTEN APPROVAL OF THE DESIGN ENGINEER.
- WELDING SHALL CONFORM TO CSA W47.1 AND CSA W59, BY THE CANADIAN WELDING BUREAU. ALL WELDING SHALL BE COMPLETED BY CWB CERTIFIED WELDERS.
- IN STRUCTURAL DRAWINGS "FULLY WELDED" REFERS TO MIN. 1/4" FILLET WELD, FULL DEPTH, ENTIRE PERIMETER
- 10. BOLTED CONNECTIONS SHALL BE MADE USING A325 BOLTS UNLESS NOTED OTHERWISE. 11. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 GRADE 36 MATERIAL UNLESS NOTED OTHERWISE
- 12. STRUCTURAL STEEL SHALL BE INSTALLED PLUMB AND LEVEL WITHIN TOLERANCES OUTLINED IN CSA
- S16-09 DESIGN OF STEEL STRUCTURES, SECTION 29.3 (ERECTION TOLERANCES)
- 13. ALL STRUCTURAL STEEL TO RECEIVE ONE COAT OF SHOP PRIMER, TOUCH-UP AS REQUIRED.
- 14. EXTERIOR STRUCTURAL STEEL SHALL BE PROTECTED FROM CORROSION BY PRIMING + PAINTING WITH EPOXY BASED EXTERIOR GRADE PAINT
- 15. ANY AND ALL STRUCTURAL STEEL ELEMENTS, REGARDING BOTH DESIGN AND CONSTRUCTION, ARE TO CONFORM TO CAN/CSA-S16:19 "DESIGN OF STEEL STRUCTURES"

DESIGN PARAMETERS:

ALL WIND AND SNOW LOADING AND THE RESULTING REACTION FORCES FOUND ON PROTON WELDING AND FABRICATION SHOP DRAWINGS:

DATE: AUGUST 30, 2025. PROJECT: MYNARD SHANTZ QUOTATION No.: P25072401

NOTE: THIS BUILDING HOUSES TWO 10 TON OVERHEAD CRANES REFER TO GREYSIDE IND INC **P25072401 DRAWINGS**

	ON	CODE PART 3	CODE PART 9	
1	PROJECT TYPE	NEW		2.1.1 9.10.1.3
2	MAJOR OCCUPANCY CLASSIFICATION:	OCCUPANCY: F2 - MEDIUM HAZARD INDUSTRIAL	3.1.2.1. (1)	9.10.2.
3	BUILDING AREA (m ²)	EXISTING NEW EXISTING TO DEMOLISH TOTAL 508.2 m ² 508.2 m ²	1.1.3.2	1.1.3.2
4	GROSS AREA (m²)	EXISTING NEW EXISTING TO DEMOLISH TOTAL 508.2 m ² 508.2 m ²	1.1.3.2	1.1.3.2
5	NUMBER OF STOREYS	ABOVE GRADE: BELOW GRADE:	3.2.1.1 & 1.1.3.2	2.1.1.3
6	BUILDING HEIGHT (m)	7.32 m		2.1.1.3
7	NUMBER OF STREETS/ FIREFIGHTER ACCESS	STREET(S)	3.2.2.10 & 3.2.5.5	
8	BUILDING CLASIFICATION		3.2.2.2083	9.10.4
9	SPRINKLER SYSTEM	□ REQUIRED NOT REQUIRED PROPOSED: □ ENTIRE BUILDING □ SELECTED COMPARTMENTS □ BASEMENT □ SELECTED FLOOR AREAS □ IN LIEU OF ROOF RATING □ NONE	3.2.2.2083 3.2.1.5 3.2.2.17	9.10.8
10	STANDPIPE REQUIRED	☐ YES 🛛 NO	3.2.9	
11	FIRE ALARM SYSTEM	□ REQUIRED M NOT REQUIRED PROPOSED: □ SINGLE STAGE □ TWO STAGE □ NONE	3.2.4	9.10.7.2
12	WATER SERVICE / SUPPLY IS ADEQUATE	XX YES NO DESCRIPTION:		
13	IMPORTANCE CATEGORY:	LOW	3.2.6	4.1.2.1.(3) & T4.1.2.1.B
14	CONSTRUCTION TYPE:	RESTRICTION: COMBUSTIBLE PERMITTED NON-COMBUSTIBLE REQUIRED ACTUAL: COMBUSTIBLE NON-COMBUSTIBLE COMBUSTIBLE COMBINATION	3.2.2.2083	9.10.6
15	MEZZANNINE AREA (m²)	EXISTING NEW EXISTING TO DEMOLISH TOTAL N/A N/A	3.2.1.1.(3)-(8)	9.10.4.1
16	OCCUPANT LOAD	BASED ON: m²/PERSON MEDICING POSTED MAXIMUM OCCUPANT LOAD: 7 (SEVEN)	3.1.1.6	9.9.1.3
17	BARRIER-FREE DESIGN:	XX YES NO EXPLANATION:	3.8	9.5.2.
18	HAZARDOUS SUBSTANCES:	YES X NO EXPLANATION:	3.3.1.2.(1) & 3.3.1.19(1)	9.10.1.3
19	REQUIRED FIRE RESISTANCE RATINGS	H.A. (H) (H) FLOORS 0 0 YES NO X N/A MEZZANINE 0 0 YES NO X N/A ROOF 0 0 YES NO X N/A	3.2.2.2083 & 3.2.1.4	9.10.8 9.10.9
20	SPATIAL SEPARATION WALL	WALL EBF L.D. L.H PERMITTED MAX % PROPOSED % REQUIRED CONSTRUCTION TYPE CLOONG TYPE REQUIRED NORTH 40 23 3.0 100 <100 NON-COMBUSTIBLE NON-COMBUSTIBLE	3.2.3.	9.10.14
21	PLUMBING FIXTURE REQUIREMENTS	NUMBER OF MEN =		9.3.1. & 3.7.4.
22	ENERGY EFFICIENCY:	COMPLIANCE PATH: THIS BUILDING CONSUMES LESS THAN 12W/M2 UNDER PEAK CONDITIONS, SB10, DIVISION 3, CLAUSE 1.2.1.2. (2)(a) THIS BUILDING IS NOT DESIGNED TO BE ABOVE 10 C, SB10, DIVISION 3, CLAUSE 1.2.1.1. (2)(b)		12.2.1.

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DATE ISSUE			E	BY	APPV
OCT 21, 2025 FOR PERMIT			R.M.M.	H.B.	
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ENGINEER



OWNER:

MAYNARD AND VERA SHANTZ 123812 SOUTHGATE ROAD 12 HOLSTEIN. ONTARIO NOG 2A0

PROJECT NAME / LOCATION:

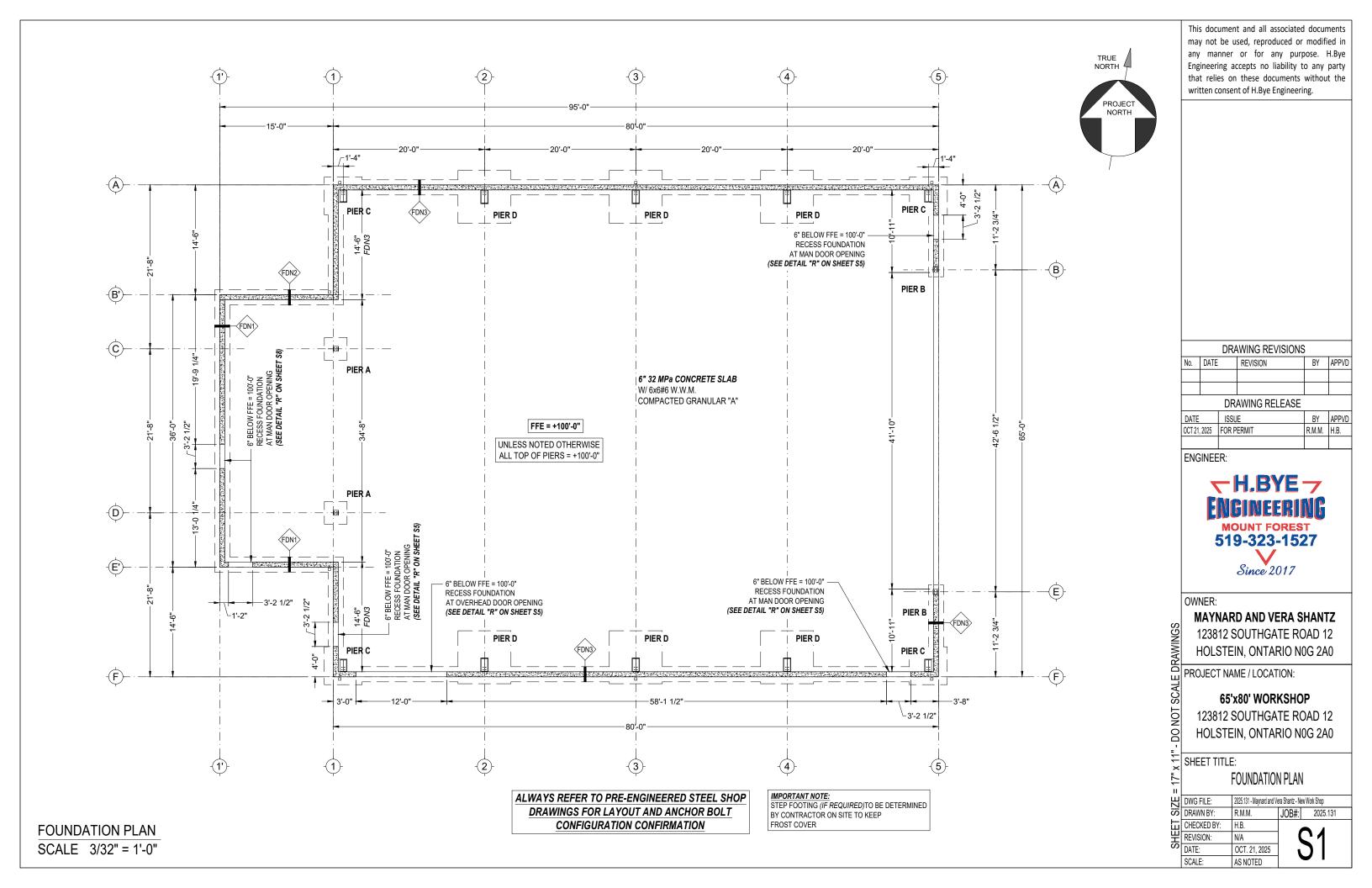
65'x80' WORKSHOP 123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

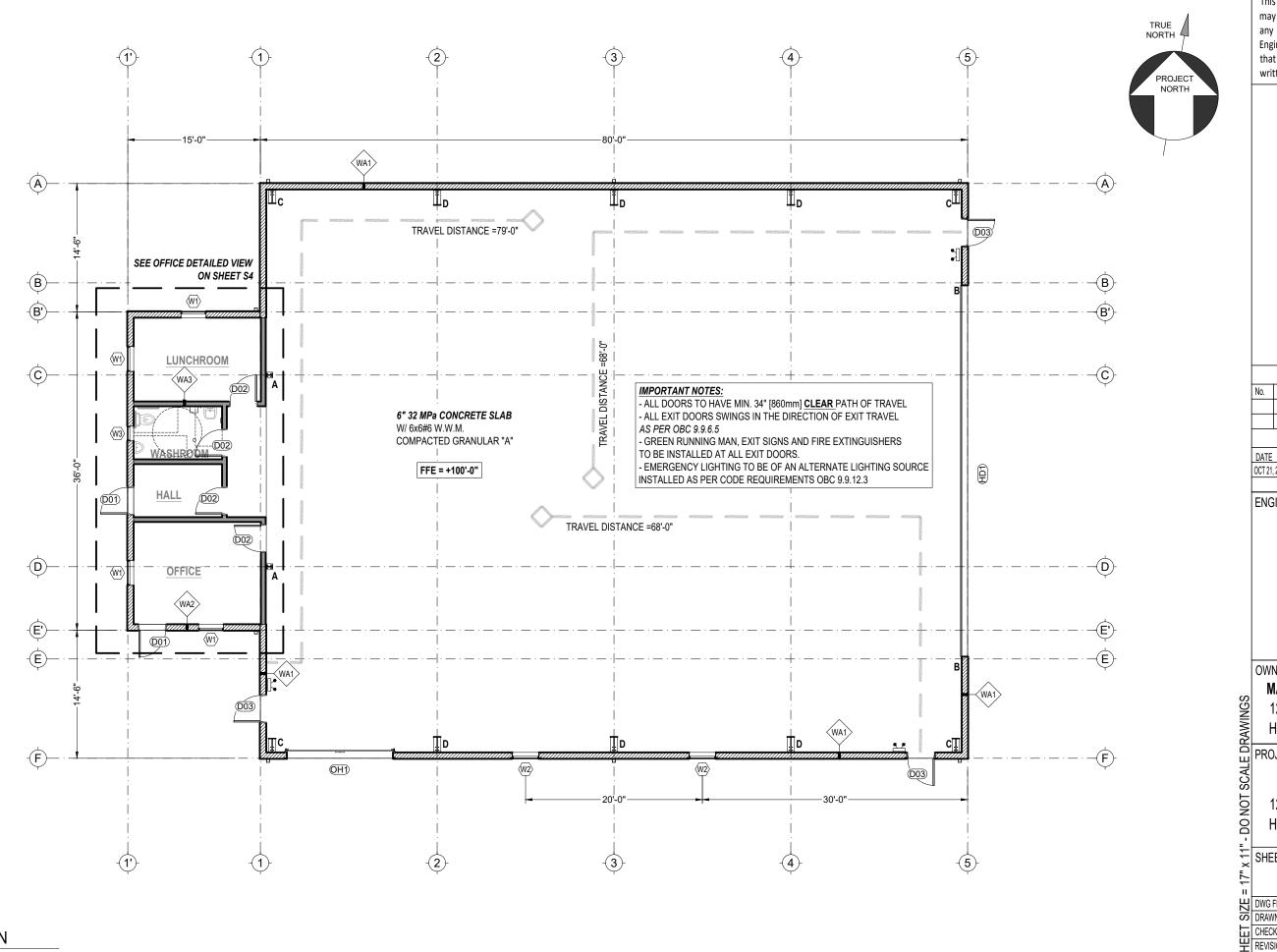
SHEET TITLE:

GENERAL NOTES + OBC

DWG FILE:
DRAWN BY: 2025.131 - Maynard and Vera Shantz - New Work Shop RMMCHECKED BY:
REVISION:
DATE: H.B. N/A DATE: OCT. 21, 2025 SCALE: AS NOTED

JOB#: 2025.131





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OCT 21,	2025	FOR P	ERMIT			R.M.M.	H.B.

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Since 2017

OWNER:

MAYNARD AND VERA SHANTZ 123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

PROJECT NAME / LOCATION:

65'x80' WORKSHOP

123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

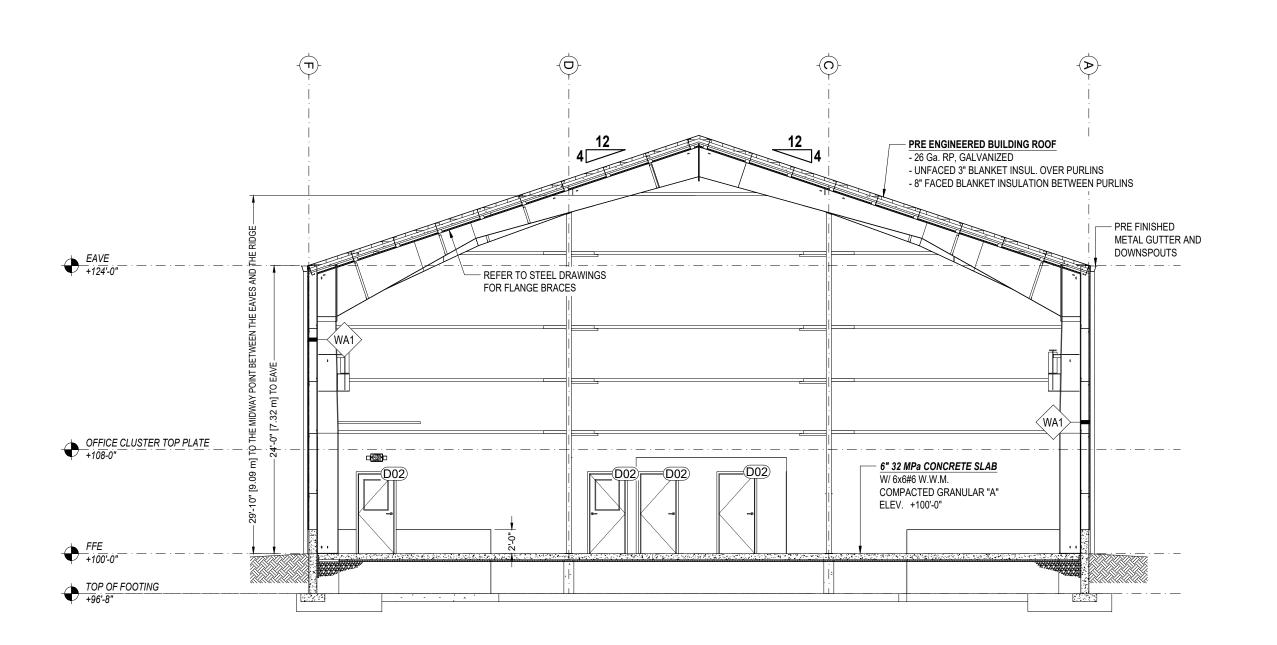
SHEET TITLE:

FLOOR PLAN

ı						
4	DWG FILE:	2025.131 - Maynard and Vera Shantz - New Work Shop				
กี	DRAWN BY:	R.M.M.	JOB#:	2025.131		
ц	CHECKED BY:	H.B.		2 2		
빝	REVISION:	N/A		$\mathcal{C}\mathcal{O}$		
っ	DATE:	OCT 21 2025		7/		

AS NOTED

FLOOR PLAN SCALE 3/32" = 1'-0"



ENGINEER:



OWNER:

MAYNARD AND VERA SHANTZ

123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

PROJECT NAME / LOCATION:

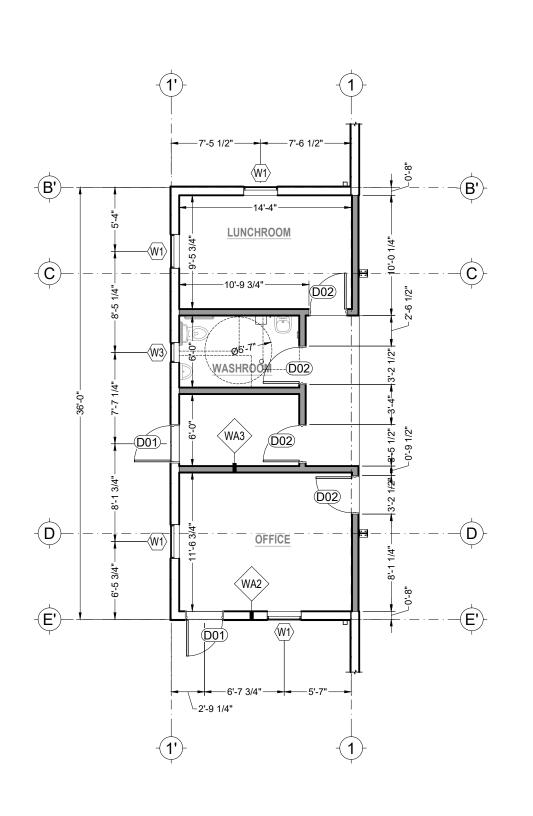
65'x80' WORKSHOP

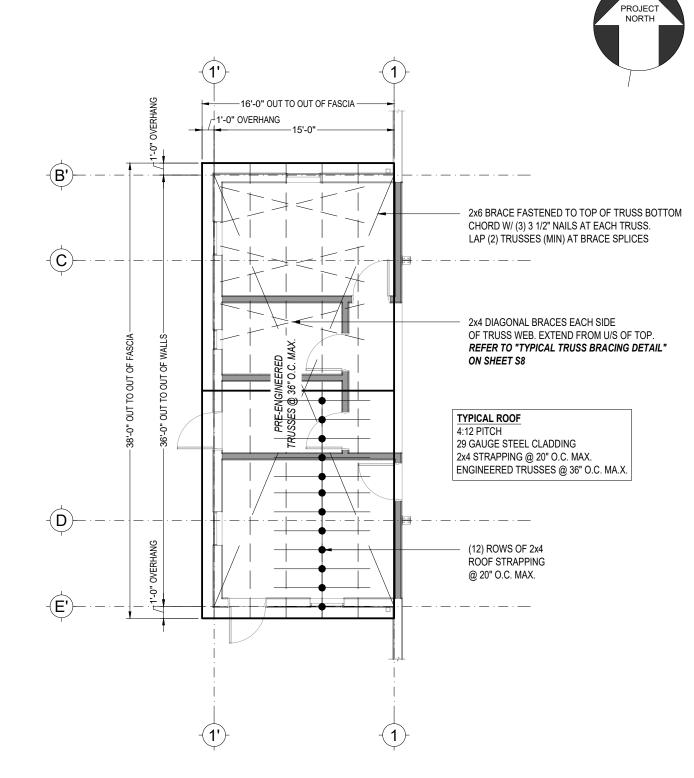
123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

SHEET TITLE:

SECTION "A" (BUILDING SECTION)

SECTION "A" (BUILDING SECTION)
SCALE 3/32" = 1'-0"





TRUE NORTH 4

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ENGINEER:



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MAYNARD AND VERA SHANTZ 123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

PROJECT NAME / LOCATION:

65'x80' WORKSHOP

123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

SHEET TITLE:

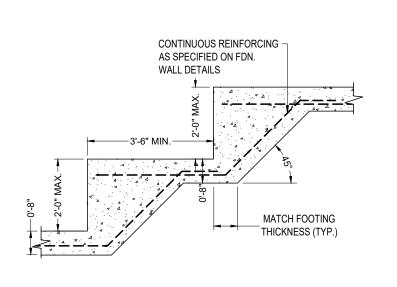
FOR PLAN + OFFICE ROOF PLAN

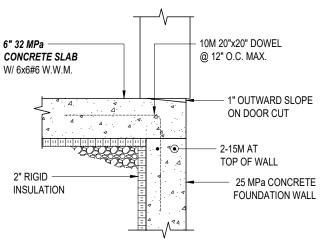
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ZE	DWG FILE: DRAWN BY:	2025.131 - Maynard and Vera Shantz - New Work Shop			
S	DRAWN BY:	E.V.M.	JOB#:	2025.131	
Ы	CHECKED BY:	H.B.		<u> </u>	
SHEET	REVISION:	N/A		$\mathbf{C}\mathbf{A}$	
ഗ	DATE:	OCT. 21, 2025		34	

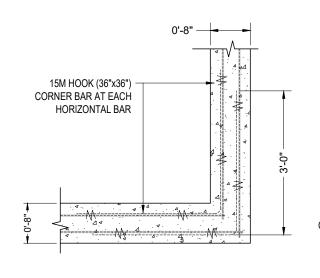
AS NOTED

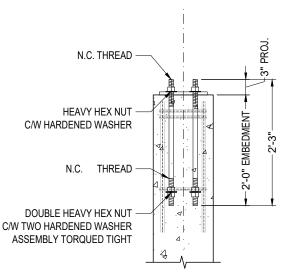
OFFICI SCALE

OFFICE FLOOR PLAN SCALE 1/8" = 1'-0" OFFICE ROOF PLAN
SCALE 1/8" = 1'-0"







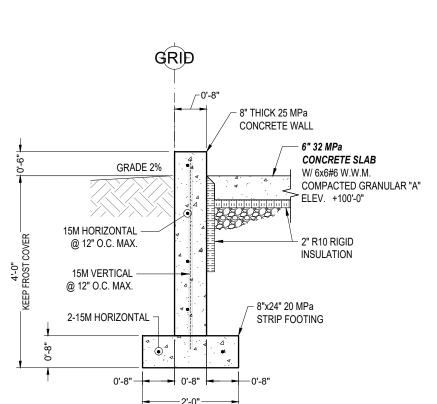


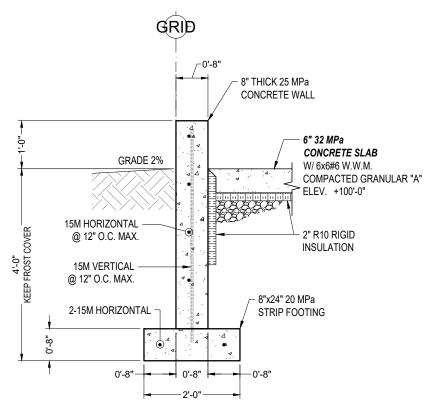
TYPICAL STEPPED FOUNDATION DETAIL SCALE 3/8" = 1'-0"

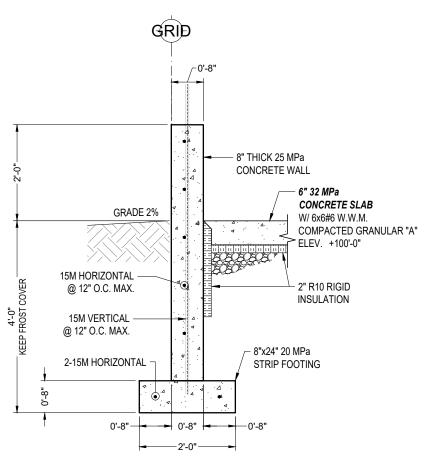
DETAIL "R" RECESS FOUNDATION SCALE 1/2" = 1'-0"

TYPICAL FOUNDATION WALL CORNER SCALE 1/2" = 1'-0"

TYPICAL FOUNDATION WALL CORNER SCALE 3/4" = 1'-0"







 FDN1 DETAIL
 FDN3 DETAIL

 SCALE 1/2" = 1'-0"
 SCALE 1/2" = 1'-0"

FDN3 DETAIL
SCALE 1/2" = 1'-0"

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ENGINEERING
MOUNT FOREST 519-323-1527
319-323-1321
Since 2017

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R.M.M. H.B.

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FOR PERMIT

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No. DATE

OCT 21, 2025

ENGINEER:

MAYNARD AND VERA SHANTZ 123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

PROJECT NAME / LOCATION:

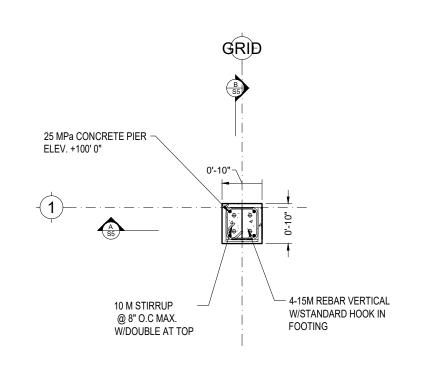
65'x80' WORKSHOP 123812 SOUTHGATE ROAD 12

HOLSTEIN, ONTARIO NOG 2A0

SHEET TITLE:

STRUCTURAL DETAILS #1

- 11					
SIZE	DWG FILE:	2025.131 - Maynard and Ve	Work Shop		
$\overline{\mathbf{s}}$	DRAWN BY:	R.M.M.	JOB#:	2025.131	
Ы	CHECKED BY:	H.B.		_	
SHEET	REVISION:	N/A		\ <u>\</u>	
တ	DATE:	OCT. 21, 2025	1) ()	
	SCALE:	AS NOTED			



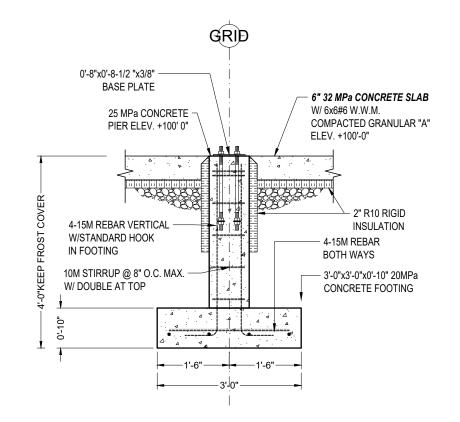
GRID

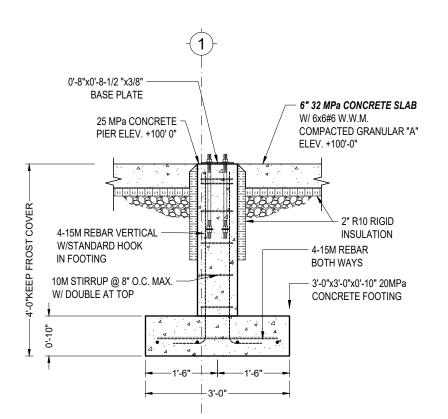
25 MPa CONCRETE

PIER ON THE WALL

FOOTING

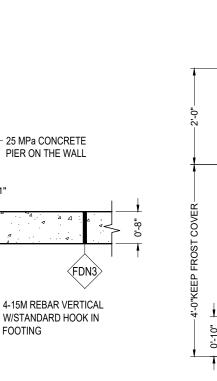
(FDN3)





PIER "A" SECTION B SCALE 1/2" = 1'-0"

PIER "A" TOP VIEW SCALE 1/2" = 1'-0"



GRIĐ TOP OF WALL 0'-8"x0'-8-1/2 "x3/8" BASE PLATE 25 MPa CONCRETE PIER ON THE WALL ELEV. +102' 0" 4-15M REBAR VERTICAL W/STANDARD HOOK IN FOOTING 10M STIRRUP @ 8" O.C. MAX. W/ DOUBLE AT TOP 3'-0"x3'-0"x0'-10" 20MPa CONCRETE FOOTING 0'-10"

0'-8"x0'-8-1/2 "x3/8" TOP OF WALL BASE PLATE 25 MPa CONCRETE 6" 32 MPa CONCRETE SLAB PIER ON THE WALL W/ 6x6#6 W.W.M. COMPACTED GRANULAR "A" ELEV. +100'-0" GRADE 2% 4-15M REBAR VERTICAL 2" R10 RIGID W/STANDARD HOOK INSULATION IN FOOTING 4-15M REBAR **BOTH WAYS** 10M STIRRUP @ 8" O.C. MAX. - 3'-0"x3'-0"x0'-10" 20MPa W/ DOUBLE AT TOP CONCRETE FOOTING

PROJECT NAME / LOCATION:

65'x80' WORKSHOP

123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

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ENGINEERING

MOUNT FOREST 519-323-1527

Since 2017

MAYNARD AND VERA SHANTZ 123812 SOUTHGATE ROAD 12

HOLSTEIN, ONTARIO NOG 2A0

BY APPVD

BY APPVD

R.M.M. H.B.

REVISION

No. DATE

OCT 21, 2025 FOR PERMIT

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SHEET TITLE:

STRUCTURAL DETAILS #2

Æ	DWG FILE:	2025.131 - Maynard and Vera Shantz - New Work Shop			
S	DRAWN BY:	E.V.M.	JOB#:	2025.131	
EEL	CHECKED BY:	H.B.		. .	
I	REVISION:	N/A	(26	
യ	DATE:	OCT. 21, 2025		7()	
	SCALE:	AS NOTED	•		

PIER "B" TOP VIEW SCALE 1/2" = 1'-0"

10 M STIRRUP

@ 8" O.C MAX.

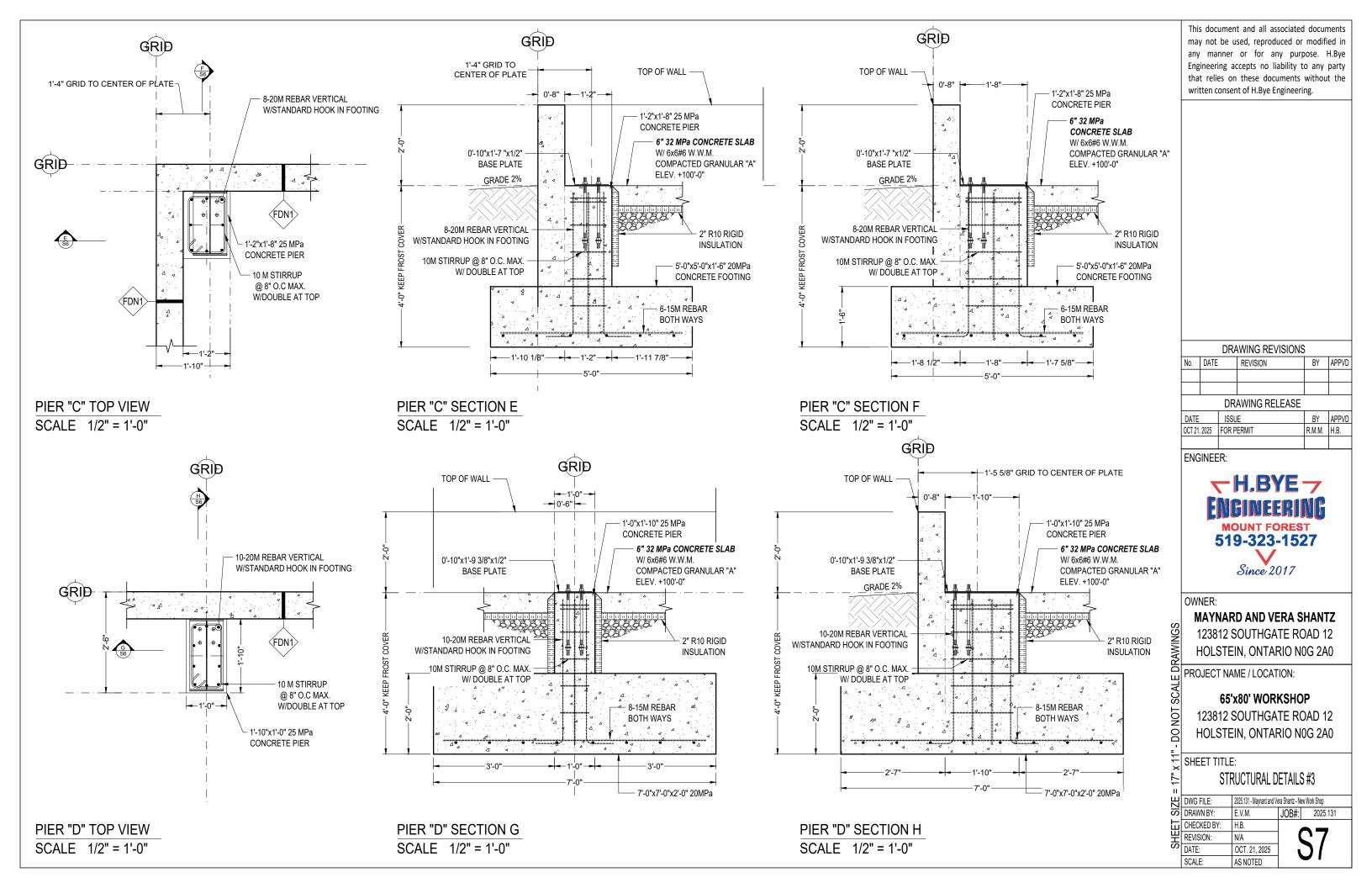
W/DOUBLE AT TOP

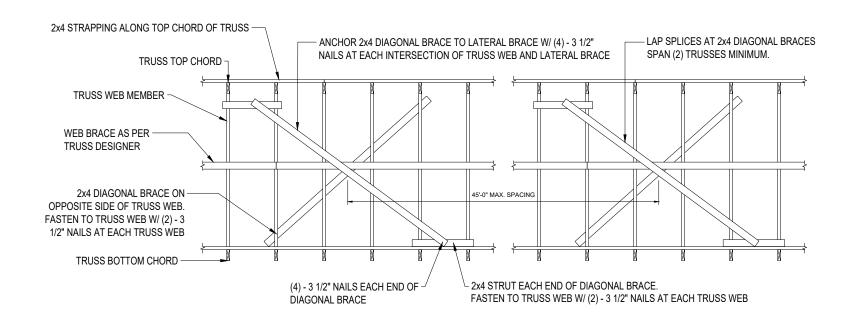
PIER "B" SECTION C SCALE 1/2" = 1'-0"

PIER "A" SECTION A

SCALE 1/2" = 1'-0"

PIER "B" SECTION D SCALE 1/2" = 1'-0"





TYPICAL TRUSS BRACING DETAIL SCALE 1/4" = 1'-0"

	DOOR AND WINDOW SCHEDULE							
TAG	DESCRIPTION	LINTEL SIZE	WALL STUD SIZE	BEARING MEMBER SIZE	QTY			
OH1	12' WIDE x 10' TALL INSULATED OVERHEAD DOOR	REFER TO P25072401 DRAWINGS	-	REFER TO P25072401 DRAWINGS	1 PC.			
HD1	42' WIDE x 16' TALL INSULATED HYDRAULIC DOOR	REFER TO P25072401 DRAWINGS	-	REFER TO P25072401 DRAWINGS	1 PC.			
D01	38"x80" EXTERIOR MAN DOOR (BARRIER FREE)	(2) 2x6 SPF No. 2	2x6	(2) 2x6 JACK STUD + (1) 2x6 KING STUD	2 PC.			
D02	38"x80" INTERIOR MAN DOOR (BARRIER FREE)	(2) 2x6 SPF No. 2	2x6	(1) 2x6 JACK STUD + (1) 2x6 KING STUD	4PC.			
D03	38"x80" EXTERIOR MAN DOOR (BARRIER FREE)	REFER TO P25072401 DRAWINGS	-	REFER TO P25072401 DRAWINGS	3 PC.			
W1	34"x52" WINDOW	(2) 2x6 SPF No. 2	2x6	(2) 2x6 JACK STUD + (1) 2x6 KING STUD	4 PC.			
W2	36"x48" WINDOW	REFER TO P25072401 DRAWINGS	-	REFER TO P25072401 DRAWINGS	2 PC.			
W3	20"x30" WINDOW	(2) 2x6 SPF No. 2	2x6	(1) 2x6 JACK STUD + (1) 2x6 KING STUD	1 PC.			

NAILING TO FRAMING							
TAG	CONSTRUCTION DETAIL	MIN. LENGTH OF NAILS	MIN. NUMBER OR MAX SPACING OF NAILS				
1.	STUD TO WALL PLATE (EACH END) END NAILED	3 1/4" (82mm)	3				
2.	DOUBLED STUDS AT OPENINGS, OR STUDS AT WALLS OR WALL INTERSECTIONS AND CORNERS	3" (76mm)	30" (750mm) O.C.				
3.	DOUBLED TOP WALL PLATES	3" (76mm)	24" (600mm) O.C.				
4.	INTERIOR WALLS TO FRAMING OR SUBFLOORING	3 1/4" (82mm)	24" (600mm) O.C.				
5.	HORIZONTAL MEMBER OVER OPENINGS IN NON-LOADBEARING WALLS – EACH END	3 1/4" (82mm)	2				
6.	LINTELS TO STUDS	3 1/4" (82mm)	4 AT EACH END				

	WALL SCHEDULE							
TAG	DESCRIPTION	SECTION VIEW	CONSTRUCTION DETAIL					
WA1	EXTERIOR STEEL WALL	VERTICAL STEEL GIRT CLADDING METAL LINER	- 26 GA. STEEL CLADDING - 8" STEEL GIRTS - INSULATION - 29 Ga. PRE-FINISHED METAL LINER					
WA2	EXTERIOR 2x6 WALL	VERTICAL 2'-0" STEEL CLADDING 50 50 7/16" PARTICLE BOARD	- 26 GA. STEEL CLADDING - 7/16 FIR PLYWOOD - 2x6 STUDS @ 24" O.C. MAX HORIZONTAL BLOCKING @ 48" O.C. MAX R-22 INSULATION - 1/2" DRYWALL - SINGLE BOTTOM PLATE & DOUBLE TOP PLATE - SILL PLATE W/SILL GASKET - 1/2"x5" ANCHORS @ 48" O.C.					
WA3	INTERIOR 2x4 WALL	1/2" DRYWALL 2'-0" 4 7 6 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	- 1/2" DRYWALL - 2x4 STUDS @ 24" O.C. MAX HORIZONTAL BLOCKING @ 48" O.C. MAX 1/2" DRYWALL - SINGLE BOTTOM PLATE & DOUBLE TOP PLATE - SILL PLATE W/SILL GASKET - 1/2"x5" ANCHORS @ 48" O.C.					

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MAYNARD AND VERA SHANTZ 123812 UNITAL HOLSTEIN, ON IAL PROJECT NAME / LOCATION: 123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

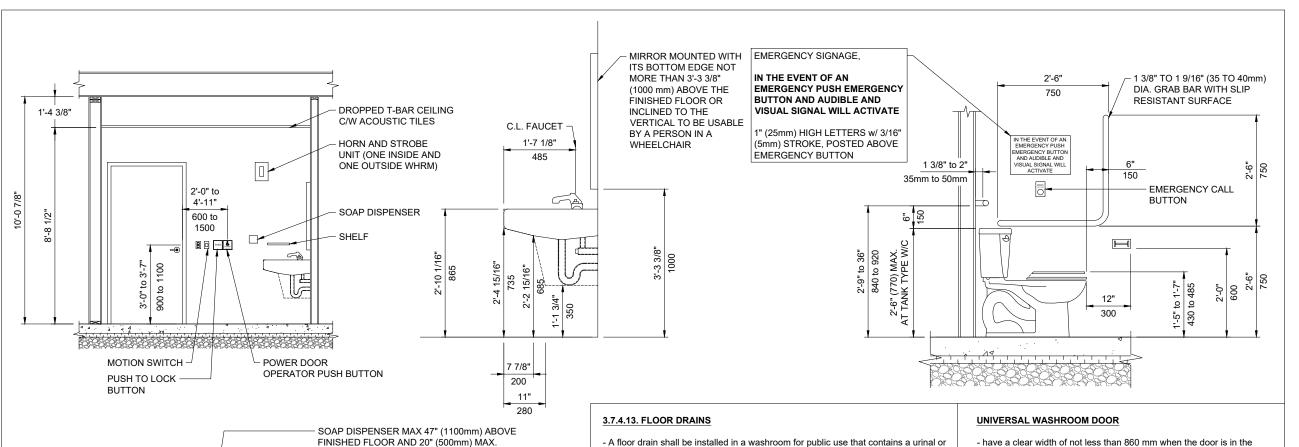
65'x80' WORKSHOP

123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

SHEET TITLE:

STRUCTURAL DETAILS #4

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ZE	DWG FILE: DRAWN BY:	2025.131 - Maynard and Ve	Vera Shantz - New Work Shop			
	DRAWN BY:	E.V.M.	JOB#:	2025.131		
ᆸ	CHECKED BY:	H.B.				
SHEET	REVISION:	N/A		CO		
တ	DATE:	OCT. 21, 2025	•	חכ		
	SCALE:	AS NOTED	`			



- A floor drain shall be installed in a washroom for public use that contains a urinal or a water closet equipped with an automatic flushing device.

FROM EDGE OF LAVATORY

PROJECTION FROM WALL

UNDER THE LAVATORY

EDGE OF LAVATORY

TRANSFER SPACE

ABOVE FINISHED FLOOR AND

MAX. 2" (50mm) PROJECTION

30"x59" (900mm X 1500mm)

L-SHAPED GRAB BAR 30"x30" (760mm X 760mm).

SHELF, MAX. 8" (200mm) ABOVE LAV. AND

43" (1100mm) ABOVE FLOOR, MAX. 4" (100mm)

36"x54" (920mm x 1370mm) CLEAR SPACE TO

ALLOW FOR A FORWARD APPROACH, OF

WHICH 20" (500mm) MAX. CAN BE LOCATED

TOWEL DISPENSER MAX 47" (1200mm) ABOVE

COAT HOOK NOT MORE THAN 47" (1200mm)

FINISHED FLOOR AND MAX. 24" (600mm) FROM

24" (600mm) REAR GRAB BAR, PROVIDE SOLID

PROVIDE SOLID BLOCKING BETWEEN STUDS FOR ATTACHMENT

BLOCKING BETWEEN STUDS FOR ATTACHMENT

- Provide lighting controlled by a motion sensor
- Provide emergency call system that consists of audible and visual signal devices inside and outside of washroom that are activated by a control device within the washroom

3.8.3.9. WATER CLOSETS

- to be quipped with a seat located between 430mm (17") and 485mm (19")
- to flush automatically or be equipped with hand operated flushing control that,
 - is located between 500mm (19 5/8") and 900mm (35 1/2") above finished floor
 - is operable from the transfer side, and
- is operable using a closed fist and with a force of not more than 22.2 N, and
- be equipped with back support back support where there is no seat lid or tank.

3.8.3.11. LAVATORIES

- equipped with insulated pipes where they would otherwise present a burn hazard or have water supply temperature limited to a maximum of 43°C
- be equipped with faucets that operate automatically or have a manual control that, - has a lever type handle or is otherwise operable with a closed fist,
 - does not require the application of continuous force to maintain water flow
- have a soap dispenser that operates automatically or is operable using a closed fist and with a force of not more than 22.2 N, and
- have a towel dispenser or other hand drying equipment that is
 - located to be accessible to persons in wheelchairs,
 - operable with one hand, and
 - located not more than 610mm, measured horizontally, from the edge of the lavatory

- have a clear width of not less than 860 mm when the door is in the open position
- equipped with a graspable latch-operating mechanism that is,
 - operable using a closed fist and with a force not more than 22.2 N, and
 - be located between 900 mm and 1 000 mm above finished floor
 - is capable of being locked from the inside and released from the outside in case of emergency
- door opening devices that are the only means of operation shall,
 - be designed to be operable using a closed fist, and
- be mounted not less than 900 mm and not more than 1 100 mm above the finished floor
- door serving universal washrooms shall be equipped with a power
- controls for the power door operator shall
 - have a face dimension of not less than
 - 150 mm in diameter where the control is circular, or
 - 50 mm by 100 mm where the control is rectangular,
 - be operable using a closed fist,
 - be located so that,
 - its centre is located not less than 900 mm and not more than 1 100 mm from the finished floor or ground, or
 - it extends from not more than 200 mm to not less than 900 mm above the finished floor or ground,
 - be located not less than 600 mm and not more than 1 500 mm beyond the door swing where the door opens towards the
 - be located to allow persons to activate the opening of the door from either direction of travel,
 - be located so that the path of travel is not obstructed
 - be located in a clearly visible position, and
 - contain a sign incorporating the International Symbol of Access.

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ENGINEER:



OWNER:

MAYNARD AND VERA SHANTZ 123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

PROJECT NAME / LOCATION:

65'x80' WORKSHOP 123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

SHEET TITLE:

UNIVERSAL WASHROOM

DWG FILE: 2025.131 - Maynard and Vera Shantz - New Work Shop DRAWN RV E.V.M. CHECKED BY: H.B. REVISION: N/A DATE: OCT. 21, 2025 AS NOTED

JOB#: 2025.131

UNIVERSAL WASHROOM DETAILS SCALE N.T.S.

ALWAYS ALLOW EXTRA ROOM WHEN

WILL NOT PASS FINAL INSPECTION

BUILDING UNIVERSAL WASHROOMS, NEVER

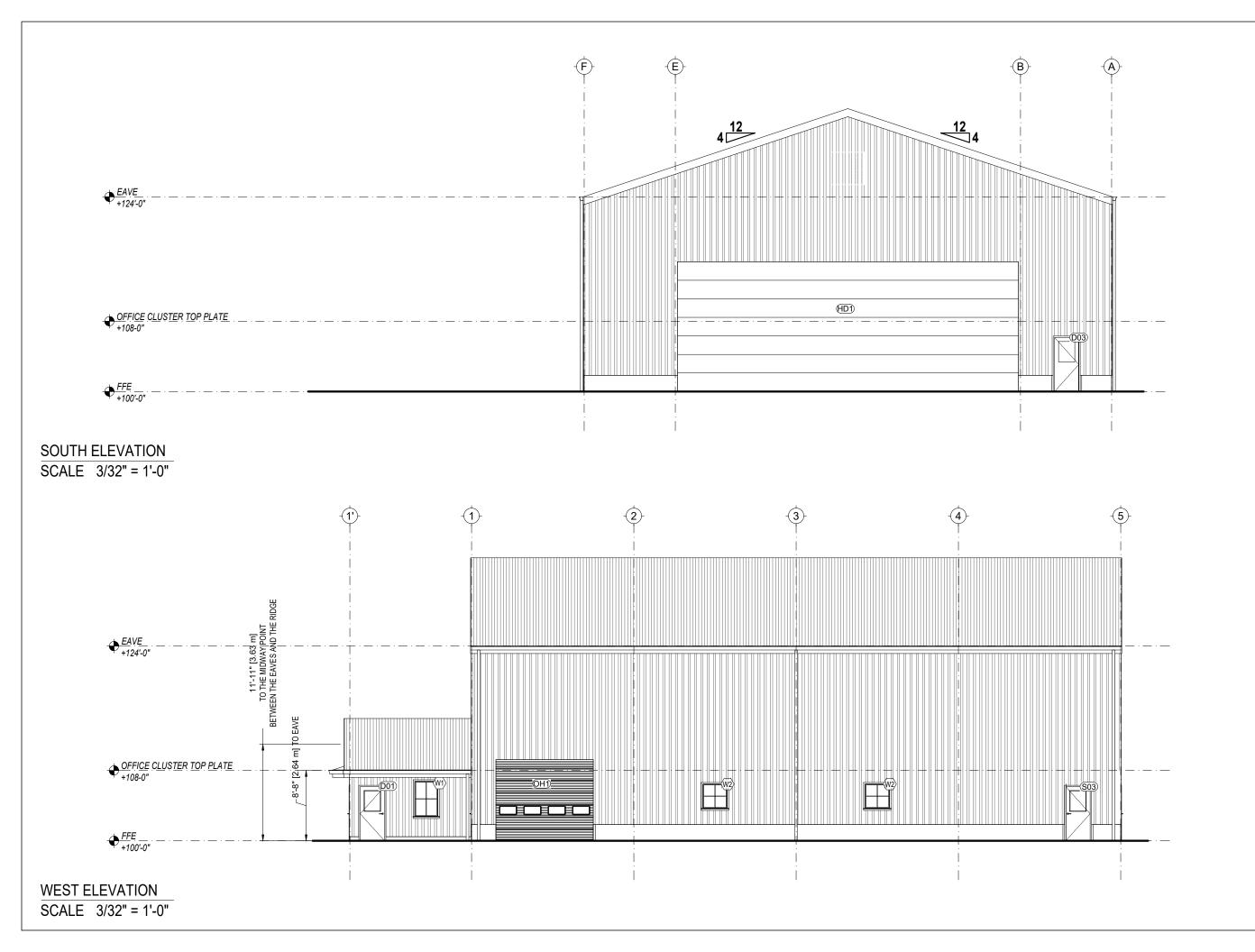
FIT TIGHT. NON-CONFORMING CLEARANCES

FLOOR DRAIN

ADULT TABLE

FUTURE A

IMPORTANT NOTE:



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ENGINEER:



OWNER:

MAYNARD AND VERA SHANTZ 123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

PROJECT NAME / LOCATION:

65'x80' WORKSHOP

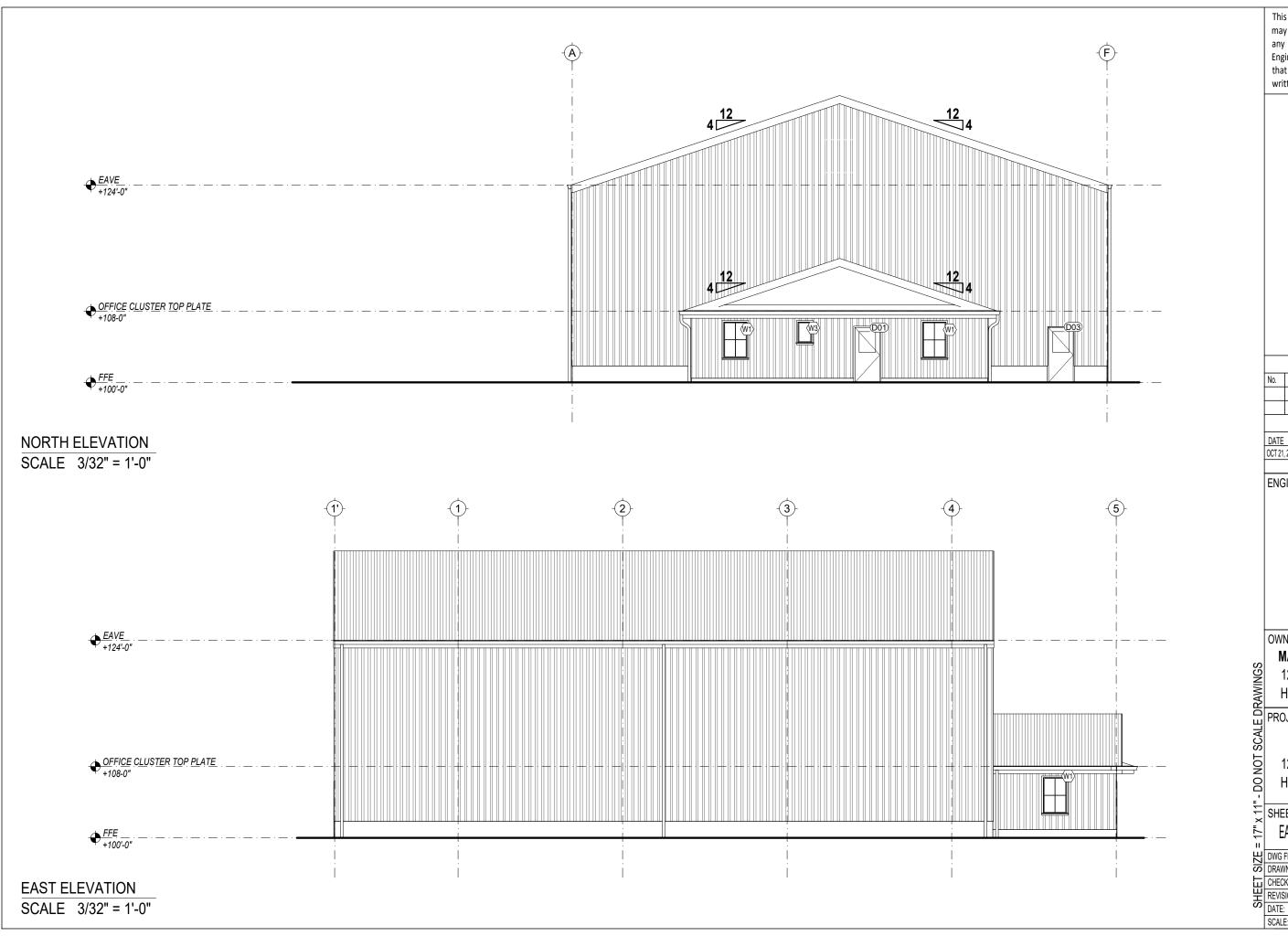
123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

SHEET TITLE:

WEST ELEVATION + SOUTH ELEVATION

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ZE	DWG FILE: DRAWN BY:	2025.131 - Maynard and Ve	1025.131 - Maynard and Vera Shantz - New Work Shop				
<u>ග</u>	DRAWN BY:	R.M.M.	JOB#: 2025.131				
Щ	CHECKED BY:	H.B.	0.40				
SHEET	REVISION:	N/A	C10				
ഗ	DATE:	OCT. 21, 2025	10 IU				

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ENGINEER:



OWNER:

MAYNARD AND VERA SHANTZ 123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

PROJECT NAME / LOCATION:

65'x80' WORKSHOP

123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

SHEET TITLE:

EAST ELEVATION + NORTH ELEVATION

SIZE	DWG FILE:	2025.131 - Maynard and Vera Shantz - New Work Shop			
S	DRAWN BY:	R.M.M.	JOB#:	2025.131	
П	CHECKED BY:	H.B.			
SHET	REVISION:	N/A		י 1 אי	
	DATE:	OCT. 21, 2025)	
	SCALE:	AS NOTED			



NORTH WEST VIEW SCALE N.T.S.



SOUTH WEST VIEW SCALE N.T.S.

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ENGINEER:



OWNER:

MAYNARD AND VERA SHANTZ MAYNARD AND VERA S

123812 SOUTHGATE RO
HOLSTEIN, ONTARIO N
PROJECT NAME / LOCATION:

65'x80' WORKSHO
123812 SOUTHGATE RO
HOLSTEIN, ONTARIO N 123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

65'x80' WORKSHOP

123812 SOUTHGATE ROAD 12 HOLSTEIN, ONTARIO NOG 2A0

SHEET TITLE:

RENDERS #1

DWG FILE:

DRAWN BY: 2025.131 - Maynard and Vera Shantz - New Work Shop R.M.M. JOB#: 2025.131 CHECKED BY:
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DATE: H.B. N/A OCT. 21, 2025 AS NOTED