

65'x80' WORKSHOP

MAYNARD AND VERA SHANTZ

123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO. N0C 2A0

INSPECTION SCHEDULE **CALL ANDREA,
519-323-1527 TO SCHEDULE AN INSPECTION**

1. **FOOTINGS:** WHEN THE CONCRETE FORM WORK AND REINFORCING STEEL HAVE BEEN SET FOR THE PLACEMENT OF THE FOOTINGS. THE SUB GRADE WILL ALSO BE INSPECTED FOR THE REQUIRED BEARING CAPACITY.

2. **WALLS:** WHEN THE CONCRETE FORM WORK AND REINFORCING STEEL HAVE BEEN SET FOR THE PLACEMENT OF THE WALLS.

3. **WOOD/STEEL FRAMING**

4. **FINAL REVIEW:** WHEN ALL THE STRUCTURAL COMPONENTS OF THE FACILITY HAVE BEEN COMPLETED.

SHEET SCHEDULE					
TAG	DESCRIPTION	TAG	DESCRIPTION	TAG	DESCRIPTION
00	COVER SHEET	S2	FLOOR PLAN	S8	STRUCTURAL DETAILS #4
SP1	ENLARGED SITE PLAN	S3	SECTION "A" (BUILDING SECTION)	S9	UNIVERSAL WASHROOM
SP2	PARKING AND LOADING	S4	OFFICE DETAILS	S10	SOUTH ELEVATION + WEST ELEVATION
SP3	SVCA SITE PLAN	S5	STRUCTURAL DETAILS #1	S11	NORTH ELEVATION + EAST ELEVATION
N1	GENERAL NOTES + O.B.C.	S6	STRUCTURAL DETAILS #2	S12	RENDERS
S1	FOUNDATION PLAN	S7	STRUCTURAL DETAILS #3		

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ISSUED FOR PERMIT APPLICATION ONLY



DRAWING REVISIONS				
No.	DATE	REVISION	BY	APPVD
DRAWING RELEASE				
DATE	ISSUE	BY	APPVD	
OCT 21, 2025	FOR PERMIT	R.M.M.	H.B.	

ENGINEER:

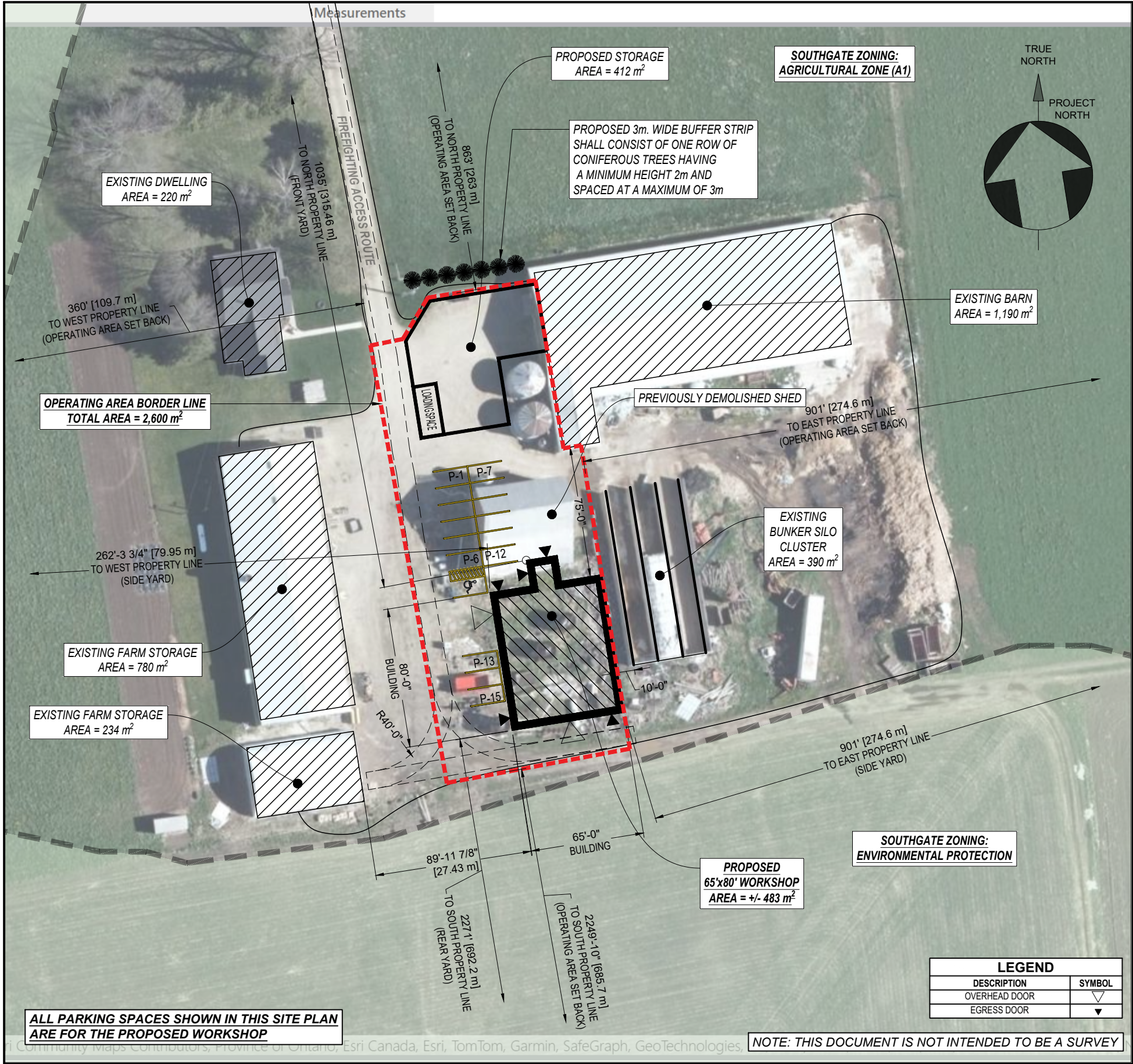
H.BYE
ENGINEERING
MOUNT FOREST
519-323-1527
Since 2017

OWNER:
MAYNARD AND VERA SHANTZ
123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

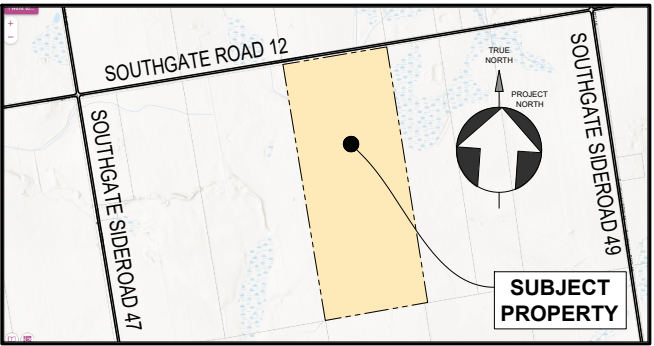
PROJECT NAME / LOCATION:
65'x80' WORKSHOP
123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

SHEET TITLE:			
COVER SHEET			
DWG FILE:	2025.131 - Maynard and Vera Shantz - New Work Shop		
DRAWN BY:	RMM	JOB#:	2025.131
CHECKED BY:	H.B.	00	
REVISION:	N/A		
DATE:	OCT. 21, 2025		
SCALE:	AS NOTED		

SHEET SIZE = 17" x 11" - DO NOT SCALE DRAWINGS



ENLARGED SITE PLAN
SCALE 1/164" = 1'-0"



KEY PLAN
SCALE 1"=2,500'

PARCEL DESCRIPTION	
ARN	420706000400300
MUNICIPALITY	Township of Southgate
PRIMARY ADDRESS	123812 SOUTHGATE ROAD 12
LEGAL DESCRIPTION	CON 11 LOT 8
ZONING	Agricultural Zone (A1)

Section 6: Agricultural Zone (A1) (Township of Southgate Zoning By-Law 19-2002)			
	DESCRIPTION	MINIMUM/MAXIMUM ZONING REQUIREMENTS	PROVIDED
6.1	PERMITTED USES	Uses, buildings or structures accessory to a permitted use	COMPLIES
6.2 a)	REGULATIONS - Minimum Lot Area	40 hectares	41.97 ha
6.2 b)	REGULATIONS - Minimum Lot Frontage	200 metres	414.91 m
6.2 c)	REGULATIONS - Maximum Lot Coverage	7 per cent	0.6764% (2,839 m ²)
6.2 d)	REGULATIONS - Minimum Front Yard	20 metres except that the minimum front yard for an agricultural building and/or Temporary farm Help Accommodation shall be 40 metres	315.4 m
6.2 e)	REGULATIONS - Minimum Side Yard	15 metres except that a minimum side yard abutting an improved public street shall be 20 metres.	EAST 274.6 m WEST 75.14 m
6.2 f)	REGULATIONS - Minimum Rear Yard	15 metres	692.2 m

3.2.5.5. LOCATION OF ACCESS ROUTES (OBC 2024)

- Access routes for firefighting shall be located so that the principal entrance is located not less than 3 m (9'-10") and not more than 15 m (49'-3") from the closest portion of the access route required for fire department use, measured horizontally from the face of the building.
- Access routes shall be provided to a building so that,
 - for a building provided with a fire department connection, a fire department pumper vehicle can be located adjacent to the hydrants referred to in Article 3.2.5.16, 2.b.
 - for a building not provided with a fire department connection, a fire department pumper vehicle can be located so that the length of the access route from a hydrant to the vehicle plus the unobstructed path of travel for the firefighter from the vehicle to the building is not more than 90 m (295'-3"), and
 - the unobstructed path of travel for the firefighter from the vehicle to the building is not more than 45 m (147'-8").
- The unobstructed path of travel for the firefighter required by Sentence (2) from the vehicle to the building shall be measured from the vehicle to the fire department connection provided for the building, except that if no fire department connection is provided, the path of travel shall be measured to the principal entrance of the building.
- If a portion of a building is completely cut off from the remainder of the building so that there is no access to the remainder of the building, the access routes required by Sentence (2) shall be located so that the unobstructed path of travel from the vehicle to one entrance of each portion of the building is not more than 45 m (147'-8")

3.2.5.6 ACCESS ROUTE DESIGN (OBC 2024)

- A portion of a roadway or yard provided as a required access route for fire department use shall,
 - have a clear width not less than 6 m, unless it can be shown that lesser widths are satisfactory,
 - have a centreline radius not less than 12 m,
 - have an overhead clearance not less than 5 m,
 - have a change of gradient not more than 1 in 12.5 over a minimum distance of 15 m,
 - be designed to support the expected loads imposed by firefighting equipment and be surfaced with concrete, asphalt or other material designed to permit accessibility under all climatic conditions,
 - have turnaround facilities for any dead-end portion of the access route more than 90 m long, and
 - be connected with a public thoroughfare.

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ENGINEER:



OWNER:

MAYNARD AND VERA SHANTZ
123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

PROJECT NAME / LOCATION:

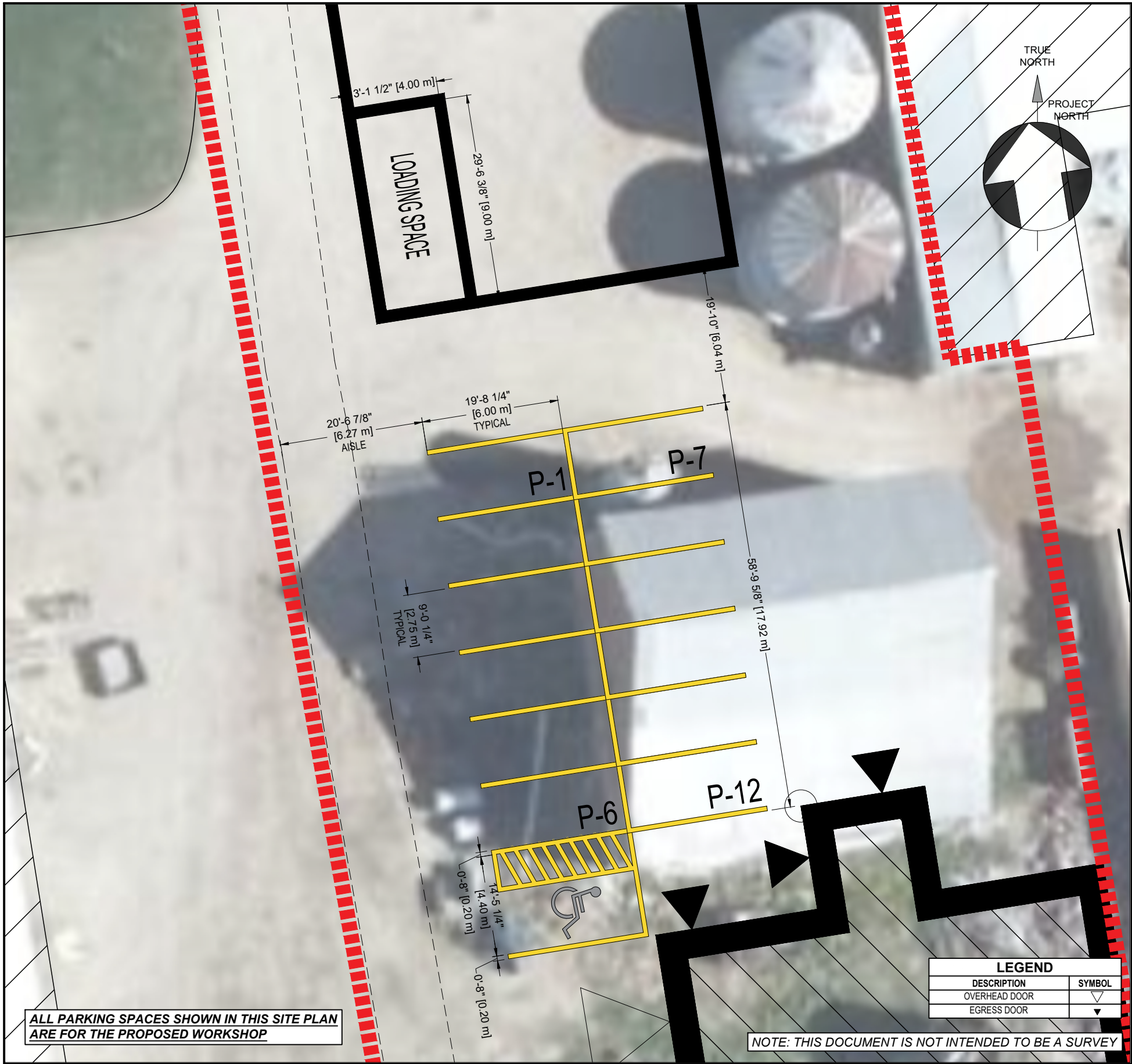
65'x80' WORKSHOP
123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

SHEET TITLE:

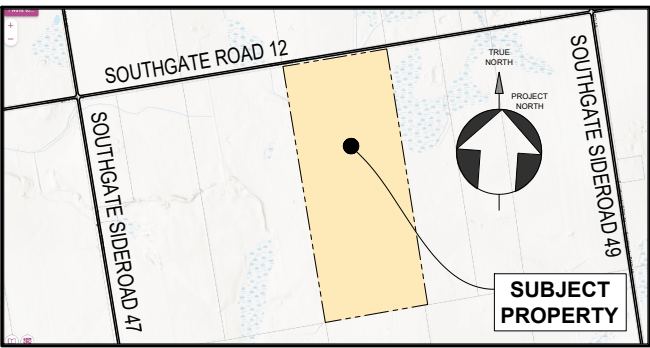
ENLARGED SITE PLAN

DWG FILE:	2025.131 - Maynard and Vera Shantz - New Work Shop		
DRAWN BY:	R.Z.	JOB#:	2025.131
CHECKED BY:	H.B.	SP1	
REVISION:	N/A		
DATE:	OCT. 21, 2025		
SCALE:	AS NOTED		

SHEET SIZE = 17" x 11" - DO NOT SCALE DRAWINGS



PARKING AND LOADING SPACE PLAN
SCALE 1/16" = 1'-0"



KEY PLAN
SCALE 1"=2,500'

PARCEL DESCRIPTION	
ARN	420706000400300
MUNICIPALITY	Township of Southgate
PRIMARY ADDRESS	123812 SOUTHGATE ROAD 12
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ZONING	Agricultural Zone (A1)

Section 5: General Provisions (Township of Southgate Zoning By-Law 19-2002)			
	DESCRIPTION	MINIMUM/MAXIMUM ZONING REQUIREMENTS	PROVIDED
5.7 (a)	PARKING REGULATIONS - Parking Space Requirement - Industrial Establishments	5 parking spaces plus 1 per 50 square metre (538.2 sq. feet) or fraction thereof of gross floor area	15 PARKING SPACES
5.7 (b)	PARKING REGULATIONS - Parking Space Dimension	For the purpose of this Subsection, a parking space shall have a minimum length of 5.75 metres and minimum width of 2.75 metres measured at right angles to the length.	COMPLIES
5.7 (i)	PARKING REGULATIONS - Access	Access to the required parking spaces and parking areas shall be provided by means of unobstructed driveways or passageways at least 3 metres, but not more than 9 metres in width	COMPLIES
5.7 (i) (ii)	PARKING REGULATIONS - Access	The aisles between parking spaces within a parking area shall have a minimum width of 6 metres;	COMPLIES
5.10	PARKING SPACES FOR THE HANDICAPPED	Is in excess of 20 parking spaces, 1 space of the first 20 spaces required and 1 space out of each additional 100 spaces or portion thereof shall be provided near and accessible to the point of entrance to the building and clearly marked for the parking of vehicles used by disabled person or persons. Notwithstanding the above Hospitals shall be required to provide 1 space out of the first 20 spaces, 2 spaces up to 60 spaces and 3 spaces up to 100 spaces, and for every portion in excess of 100 spaces one additional disabled space. Parking spaces for the disabled shall have a minimum width of 4.4 metres (14.4 feet) and a minimum length of 6 metres (19.6 feet).	1 PARKING SPACE
5.14	LOADING SPACE REQUIREMENTS	The owner or occupant of any lot, building or structure in a Commercial or Industrial Zone, erected or used for any purpose involving the receiving, shipping, loading, or unloading of persons, animals, goods, wares, merchandise, or raw materials, shall provide and maintain at the premises, on the lot occupied by the building or structure and not forming part of a street or land, within the Zone in which such use is located, loading and unloading spaces 9 metres long, 4 metres wide, and having a vertical clearance of at least 5 metres and in accordance with the following: 0 to 500 square metres 1 space	1 LOADING SPACE

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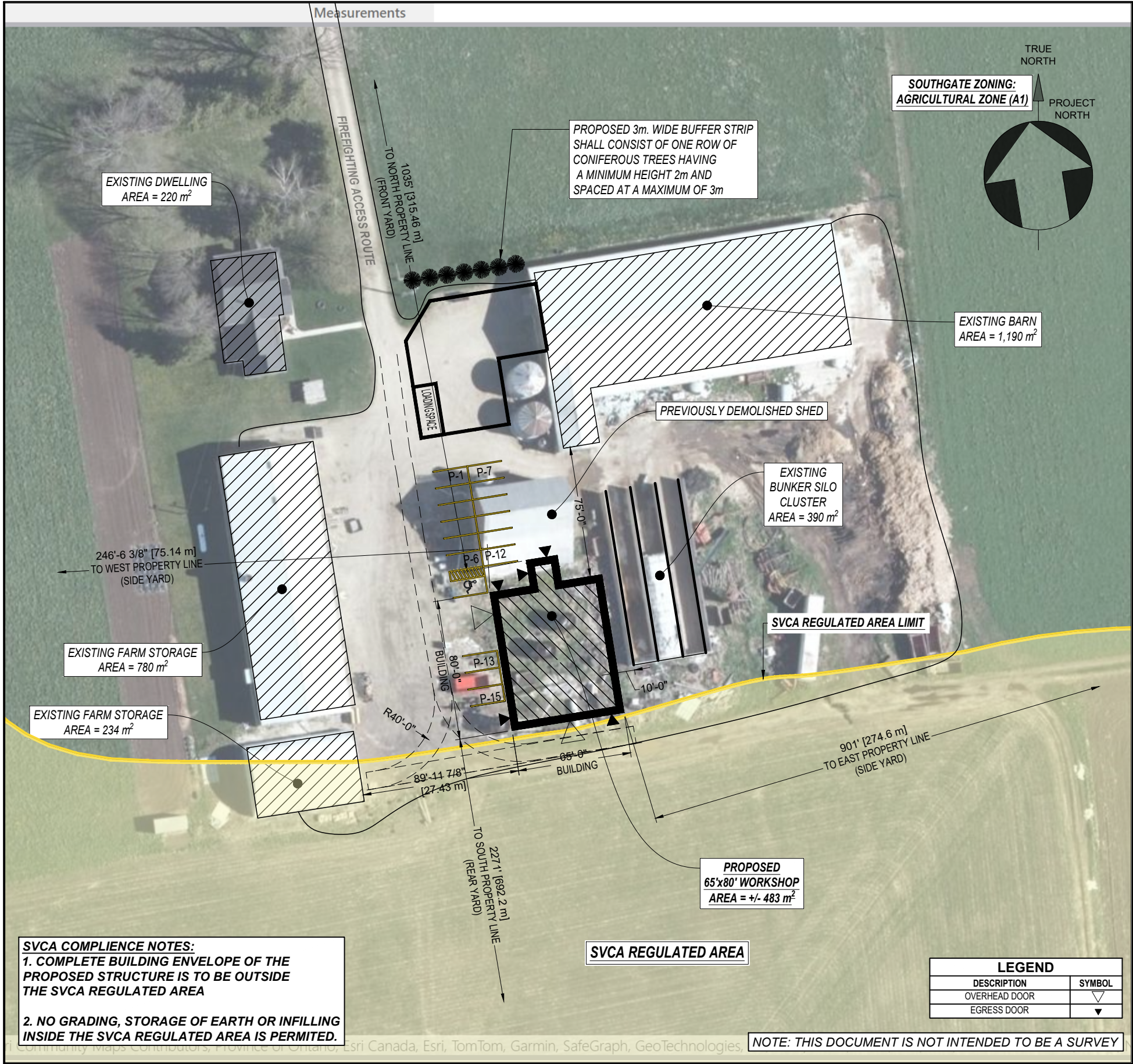
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HOLSTEIN, ONTARIO N0G 2A0

SHEET TITLE:
PARKING AND LOADING SPOT PLAN

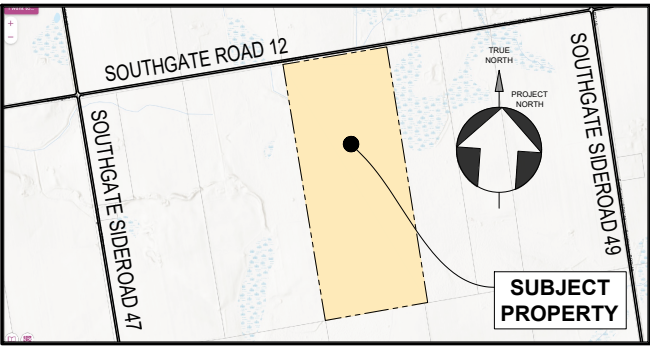
DWG FILE:	2025.131 - Maynard and Vera Shantz - New Work Shop		
DRAWN BY:	R.M.M.	JOB#:	2025.131
CHECKED BY:	H.B.	SP2	
REVISION:	N/A		
DATE:	OCT. 21, 2025		
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NOTE: THIS DOCUMENT IS NOT INTENDED TO BE A SURVEY



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PROJECT NAME / LOCATION:

65'x80' WORKSHOP
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SHEET TITLE:

SVCA SITE PLAN

DWG FILE:	2025-131 - Maynard and Vera Shantz - New Work Shop		
DRAWN BY:	R.M.M.	JOB#:	2025.131
CHECKED BY:	H.B.	SP3	
REVISION:	N/A		
DATE:	OCT. 21, 2025		
SCALE:	AS NOTED		

SHEET SIZE = 17" x 11" - DO NOT SCALE DRAWINGS

GENERAL NOTES:

DESIGN PARAMETERS: OBC 2024 - PART 9

1. ALL WORK ON THIS PROJECT SHALL CONFORM TO THE ONTARIO BUILDING CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT.
2. OWNER & GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
3. DRAWINGS ARE NOT TO BE SCALED.
4. GENERAL REVIEW OF THE CONSTRUCTION MUST BE COMPLETED BY THE TOWNSHIP BUILDING OFFICIAL(S) OR A LICENSED PROFESSIONAL ENGINEER OR BOTH. ALL ENGINEERING REPORTS, IF REQUESTED BY THE TOWNSHIP, ARE TO BE FORWARDED TO THE BUILDING DEPARTMENT. INSPECTIONS MAY INCLUDE BUT ARE NOT LIMITED TO;
- 4.1. FOOTINGS AND WALLS (PRIOR TO POURING)
- 4.2. CONCRETE REINFORCING (PRIOR TO POURING)
- 4.3. STRUCTURAL STEEL

CONCRETE SPECIFICATIONS

1. ALL CONCRETE CONSTRUCTION IS TO CONFORM TO CAN/CSA-A 23.1, 23.2, AND 23.3.
2. ALL CONCRETE DESIGN IS TO CONFORM TO CAN/CSA-A23.3.
3. CONCRETE USES SHALL HAVE THE FOLLOWING CLASSES AND ASSOCIATED PHYSICAL PROPERTIES:
- | LOCATION | CLASS | COMP STRENGTH AT 27 DAYS | W/C RATIO | AIR ENTRAINMENT |
|---|-------|--------------------------|-----------|-----------------|
| EXTERIOR STRUCTURALLY REINFORCED SLABS | C-1 | 35 MPa | 0.40 | 5% - 8% |
| EXTERIOR UNREINFORCED SLABS ON GRADE, CURBS | C-2 | 32 MPa | 0.45 | 5% - 8% |
| EXTERIOR WALLS, COLUMNS OR PIERS | F-2 | 25 MPa | 0.55 | 4% - 7% |
| INTERIOR FLOOR SLABS | N-1 | 25 MPa | 0.55 | 4% - 7% |
| FOOTINGS | N-2 | 20 MPa | 0.55 | NOT REQ'D |
4. KEEP CONCRETE FROM RAPIDLY LOSING MOISTURE. CONCRETE SHOULD BE KEPT MOIST DURING THE FIRST THREE DAYS OF CURING.
5. DO NOT ALLOW CONCRETE TO FREEZE FOR A MINIMUM OF 10 DAYS AFTER PLACEMENT.
6. INSTALL CONTROL JOINTS AT A SPACING OF 20 TIMES THE AVERAGE WALL THICKNESS, IN BOTH SIDES OF ALL WALLS. DO NOT CUT REBAR.
7. CALCIUM CHLORIDE OR ANY ADMIXTURE CONTAINING CALCIUM IS NOT TO BE USED IN CONCRETE.
8. CUT CONCRETE SLAB A MIN. OF 20 TIMES THE SLAB THICKESS ONE DAY AFTER POURING. CUT 1/4 OF SLAB THICKNESS. DO NOT CUT REINFORCING STEEL.

REBAR SPECIFICATIONS

1. ALL REBAR TO BE GRADE 400:
2. ALL REBAR BEND DIAMETERS SHALL CONFORM TO CAN/CSA-A23.1. REBAR BENDING SHALL NOT COMPROMISE THE REBAR IN ANYWAY.
3. REBAR SPLICE LENGTHS:
- 10M BARS = 18" (450mm) MIN.
- 15M BARS = 24" (600mm) MIN.
- 20M BARS = 30" (750mm) MIN.
- 25M BARS = 48" (1200mm) MIN.
4. REBAR CONCRETE COVER:
- 4.1. 1 1/2" (40mm) FOR CONCRETE PLACED IN FORMWORK FOR 15M OR SMALLER
- 4.2. 2" (50mm) FOR CONCRETE PLACED IN FORMWORK FOR 20M OR LARGER
- 4.3. 2 1/2" (65mm) FOR SLAB ON GRADE, TOP OF SLAB TO TOP LAYER OF STEEL
- 4.4. 3" (75mm) FOR CONCRETE PLACED AGAINST THE EARTH (BOTTOM OF FOOTINGS)

STRUCTURAL STEEL NOTES:

1. ALL STRUCTURAL STEEL FRAMING SHALL BE COMPLETED BY AN EXPERIENCED ERECTOR
2. ALL STRUCTURAL STEEL BEAMS AND COLUMNS SHALL CONFORM TO CAN/CSA G40.21 GRADE 350W UNLESS NOTED OTHERWISE
3. ALL STRUCTURAL STEEL CHANNELS AND ANGLES SHALL CONFORM TO CAN/CSA G40.21 GRADE 300W UNLESS NOTED OTHERWISE
4. ALL HSS SHALL CONFORM TO CAN/CSA G40.21 GRADE 350W (CLASS C) UNLESS NOTED OTHERWISE
5. ALL STEEL PLATE TO BE A36 (250W MPa) MATERIAL (MIN.)
6. ALL STRUCTURAL STEEL SHALL BE NEW MATERIAL UNLESS APPROVED BY THE DESIGN ENGINEER.
7. STRUCTURAL STEEL MEMBERS SHALL NOT BE SPLICED WITHOUT THE WRITTEN APPROVAL OF THE DESIGN ENGINEER.
8. WELDING SHALL CONFORM TO CSA W47.1 AND CSA W59, BY THE CANADIAN WELDING BUREAU. ALL WELDING SHALL BE COMPLETED BY CWB CERTIFIED WELDERS.
9. IN STRUCTURAL DRAWINGS "FULLY WELDED" REFERS TO MIN. 1/4" FILLET WELD, FULL DEPTH, ENTIRE PERIMETER
10. BOLTED CONNECTIONS SHALL BE MADE USING A325 BOLTS UNLESS NOTED OTHERWISE.
11. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 GRADE 36 MATERIAL UNLESS NOTED OTHERWISE
12. STRUCTURAL STEEL SHALL BE INSTALLED PLUMB AND LEVEL WITHIN TOLERANCES OUTLINED IN CSA S16-09 DESIGN OF STEEL STRUCTURES, SECTION 29.3 (ERECTION TOLERANCES)
13. ALL STRUCTURAL STEEL TO RECEIVE ONE COAT OF SHOP PRIMER, TOUCH-UP AS REQUIRED.
14. EXTERIOR STRUCTURAL STEEL SHALL BE PROTECTED FROM CORROSION BY PRIMING + PAINTING WITH EPOXY BASED EXTERIOR GRADE PAINT
15. ANY AND ALL STRUCTURAL STEEL ELEMENTS, REGARDING BOTH DESIGN AND CONSTRUCTION, ARE TO CONFORM TO CAN/CSA-S16:19 "DESIGN OF STEEL STRUCTURES"

SOIL/SUBGRADE SPECIFICATIONS

1. PREPARE THE AREA FOR THE PROPOSED STRUCTURE BY REMOVING ALL TOPSOIL & ORGANIC MATERIAL FROM THE AREA OF THE FOUNDATION.
2. ENSURE MIN. 24" OF FREE DRAINING COMPACTED GRANULARS UNDER CONCRETE SLABS TO PREVENT UNEQUAL FROST HEAVE.
3. IF ANY "SOFT AREAS" OR SOIL THAT IS NOT NATIVE IS ENCOUNTERED DURING EXCAVATION IT IS TO BE SUB EXCAVATED, REMOVED,FILLED WITH GRANULAR AND COMPACTED
4. DO NOT ALLOW SOIL TO FREEZE AND FROST TO DEVELOP UNDER ANY FOOTINGS OR FLOATING SLABS.

WOOD SPECIFICATIONS

1. FRAMED WALLS ARE TO BE WIND BRACED AT ALL CORNERS IN BOTH DIRECTIONS.
2. LUMBER SHALL BE SPF No. 1/2 OR BETTER UNLESS NOTED OTHERWISE. MOISTURE CONTENT SHALL BE 19% OR LESS.
3. LUMBER SHALL NOT BE NOTCHED OR DRILLED IN THE FIELD.
4. WOOD IS NOT PERMITTED TO BEAR DIRECTLY ON MASONRY OR CONCRETE WITHOUT BEING PRESSURE TREATED.
5. PROVIDE SOLID WOOD HORIZONTAL BLOCKING AT MAXIMUM 1.2m (48") O.C. FOR ALL FRAMED WALLS.
6. ALL NAILS USED SHALL CONFORM TO STEEL WIRE NAILS AND SPIKES AS DEFINED IN CSA STANDARD B111 "WIRE NAILS, SPIKES AND STAPLES" UNLESS NOTED OTHERWISE.
7. ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD ARE TO BE HOT DIP GALVANIZED (TO CSA-G164) OR STAINLESS STEEL.
8. ALL WOOD FRAMING, BOTH DESIGN AND CONSTRUCTION, IS TO CONFORM TO: CAN/CSA-086 -19 - "ENGINEERING DESIGN IN WOOD".

DESIGN PARAMETERS:

ALL WIND AND SNOW LOADING AND THE RESULTING REACTION FORCES, FOUND ON PROTON WELDING AND FABRICATION SHOP DRAWINGS:

DATE: AUGUST 30, 2025.
PROJECT: MYNARD SHANTZ
QUOTATION No.: P25072401

NOTE: THIS BUILDING HOUSES
TWO 10 TON OVERHEAD CRANES
REFER TO GREYSIDE IND INC
P25072401 DRAWINGS

ONTARIO BUILDING CODE DATA MATRIX PART 3 & 9						BUILDING CODE PART 3 ☐	BUILDING CODE PART 9 ☒																																													
1	PROJECT TYPE	☒ NEW ☐ ADDITION ☐ ADDITION AND RENOVATION ☐ CHANGE OF USE ☐ RENOVATION ☐ ALTERATION DESCRIPTION: _____					2.1.1 9.10.1.3																																													
2	MAJOR OCCUPANCY CLASSIFICATION:	OCCUPANCY: F2 - MEDIUM HAZARD INDUSTRIAL				3.1.2.1. (1)	9.10.2.																																													
3	BUILDING AREA (m²)	EXISTING --	NEW 508.2 m²	EXISTING TO DEMOLISH ____	TOTAL 508.2 m²	1.1.3.2	1.1.3.2																																													
4	GROSS AREA (m²)	EXISTING --	NEW 508.2 m²	EXISTING TO DEMOLISH ____	TOTAL 508.2 m²	1.1.3.2	1.1.3.2																																													
5	NUMBER OF STOREYS	ABOVE GRADE: 1		BELOW GRADE: _____		3.2.1.1 & 1.1.3.2	2.1.1.3																																													
6	BUILDING HEIGHT (m)	7.32 m					2.1.1.3																																													
7	NUMBER OF STREETS/ FIREFIGHTER ACCESS	1 STREET(S)				3.2.2.10 & 3.2.5.5																																														
8	BUILDING CLASIFICATION	_____				3.2.2.20-83	9.10.4																																													
9	SPRINKLER SYSTEM	☐ REQUIRED ☒ NOT REQUIRED PROPOSED: ☐ ENTIRE BUILDING ☐ SELECTED COMPARTMENTS ☐ BASEMENT ☐ SELECTED FLOOR AREAS ☐ IN LIEU OF ROOF RATING ☐ NONE				3.2.2.20-83 3.2.1.5 3.2.2.17	9.10.8																																													
10	STANDPIPE REQUIRED	☐ YES ☒ NO				3.2.9																																														
11	FIRE ALARM SYSTEM	☐ REQUIRED ☒ NOT REQUIRED PROPOSED: ☐ SINGLE STAGE ☐ TWO STAGE ☐ NONE				3.2.4	9.10.7.2																																													
12	WATER SERVICE / SUPPLY IS ADEQUATE	☒ YES ☐ NO DESCRIPTION: _____																																																		
13	IMPORTANCE CATEGORY:	☒ LOW ☐ LOW HUMAN OCCUPANCY ☐ NORMAL ☐ POST-DISASTER SHELTER ☐ HIGH ☐ MINOR STORAGE BUILDING ☐ POST-DISASTER ☐ EXPLOSIVE OR HAZARDOUS SUBSTANCES				3.2.6	4.1.2.1.(3) & T4.1.2.1.B																																													
14	CONSTRUCTION TYPE:	RESTRICTION: ☒ COMBUSTIBLE PERMITTED ☐ NON-COMBUSTIBLE REQUIRED ACTUAL: ☐ COMBUSTIBLE ☐ NON-COMBUSTIBLE ☒ COMBINATION				3.2.2.20-83	9.10.6																																													
15	MEZZANNINE AREA (m²)	EXISTING ____	NEW N/A	EXISTING TO DEMOLISH ____	TOTAL N/A	3.2.1.1.(3)-(8)	9.10.4.1																																													
16	OCCUPANT LOAD	BASED ON: ☐ m²/PERSON ☒ DESIGN OF BUILDING POSTED MAXIMUM OCCUPANT LOAD: 7 (SEVEN)				3.1.1.6	9.9.1.3																																													
17	BARRIER-FREE DESIGN:	☒ YES ☐ NO EXPLANATION: _____				3.8	9.5.2.																																													
18	HAZARDOUS SUBSTANCES:	☐ YES ☒ NO EXPLANATION: _____				3.3.1.2.(1) & 3.3.1.19(1)	9.10.1.3																																													
19	REQUIRED FIRE RESISTANCE RATINGS	<table><thead><tr><th>H.A.</th><th>(H)</th><th>(H)</th><th></th><th></th><th></th><th></th></tr></thead><tbody><tr><td>FLOORS</td><td><u>0</u></td><td><u>0</u></td><td>☐ YES</td><td>☐ NO</td><td>☒ N/A</td><td></td></tr><tr><td>MEZZANINE</td><td><u>0</u></td><td><u>0</u></td><td>☐ YES</td><td>☐ NO</td><td>☒ N/A</td><td></td></tr><tr><td>ROOF</td><td><u>0</u></td><td><u>0</u></td><td>☐ YES</td><td>☐ NO</td><td>☒ N/A</td><td></td></tr></tbody></table>				H.A.	(H)	(H)					FLOORS	<u>0</u>	<u>0</u>	☐ YES	☐ NO	☒ N/A		MEZZANINE	<u>0</u>	<u>0</u>	☐ YES	☐ NO	☒ N/A		ROOF	<u>0</u>	<u>0</u>	☐ YES	☐ NO	☒ N/A		3.2.2.20-83 & 3.2.1.4	9.10.8 9.10.9																	
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ROOF	<u>0</u>	<u>0</u>	☐ YES	☐ NO	☒ N/A																																															
20	SPATIAL SEPARATION WALL	<table><thead><tr><th>WALL</th><th>EBF AREA (m²)</th><th>L.D. (m)</th><th>L/H or H/L</th><th>PERMITTED MAX % OF OPENINGS</th><th>PROPOSED % OF OPENINGS</th><th>REQUIRED FRR (MIN)</th><th>CONSTRUCTION TYPE REQUIRED</th><th>CLADDING TYPE REQUIRED</th></tr></thead><tbody><tr><td>NORTH</td><td>40</td><td>23</td><td>3.0</td><td>100</td><td><100</td><td>--</td><td>☐ NON-COMBUSTIBLE</td><td>☐ NON-COMBUSTIBLE</td></tr><tr><td>SOUTH</td><td>144</td><td>692</td><td>2.7</td><td>100</td><td><100</td><td>--</td><td>☐ NON-COMBUSTIBLE</td><td>☐ NON-COMBUSTIBLE</td></tr><tr><td>EAST</td><td>178</td><td>274</td><td>3.3</td><td>100</td><td><100</td><td>--</td><td>☐ NON-COMBUSTIBLE</td><td>☐ NON-COMBUSTIBLE</td></tr><tr><td>WEST</td><td>178</td><td>27.5</td><td>3.3</td><td>100</td><td><100</td><td>--</td><td>☐ NON-COMBUSTIBLE</td><td>☐ NON-COMBUSTIBLE</td></tr></tbody></table>				WALL	EBF AREA (m²)	L.D. (m)	L/H or H/L	PERMITTED MAX % OF OPENINGS	PROPOSED % OF OPENINGS	REQUIRED FRR (MIN)	CONSTRUCTION TYPE REQUIRED	CLADDING TYPE REQUIRED	NORTH	40	23	3.0	100	<100	--	☐ NON-COMBUSTIBLE	☐ NON-COMBUSTIBLE	SOUTH	144	692	2.7	100	<100	--	☐ NON-COMBUSTIBLE	☐ NON-COMBUSTIBLE	EAST	178	274	3.3	100	<100	--	☐ NON-COMBUSTIBLE	☐ NON-COMBUSTIBLE	WEST	178	27.5	3.3	100	<100	--	☐ NON-COMBUSTIBLE	☐ NON-COMBUSTIBLE	3.2.3.	9.10.14
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21	PLUMBING FIXTURE REQUIREMENTS	NUMBER OF MEN = <u>6</u> NUMBER OF WOMAN = <u>1</u> MINIMUM AMOUNT OF WATER CLOSETS FOR MEN: <u>1</u> MINIMUM AMOUNT OP WATER CLOSETS FOR WOMAN: <u>1</u> TOTAL AMOUNT OF WATER CLOSETS PROVIDED: <u>1</u>					9.3.1. & 3.7.4.																																													
22	ENERGY EFFICIENCY:	COMPLIANCE PATH: THIS BUILDING CONSUMES LESS THAN 12W/M2 UNDER PEAK CONDITIONS, SB10, DIVISION 3, CLAUSE 1.2.1.2. (2)(a) THIS BUILDING IS NOT DESIGNED TO BE ABOVE 10 C, SB10, DIVISION 3, CLAUSE 1.2.1.1. (2)(b)					12.2.1.																																													

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ENGINEER:

OWNER:

MAYNARD AND VERA SHANTZ

123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

PROJECT NAME / LOCATION:

65'x80' WORKSHOP

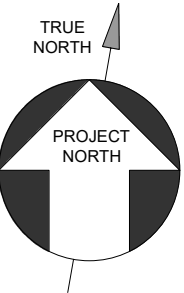
123812 SOUTHGATE ROAD 12
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SHEET TITLE:

GENERAL NOTES + OBC

DWG FILE:	2025.131 - Maynard and Vera Shantz - New Work Shop		
DRAWN BY:	R.M.M.	JOB#:	2025.131
CHECKED BY:	H.B.	N1	
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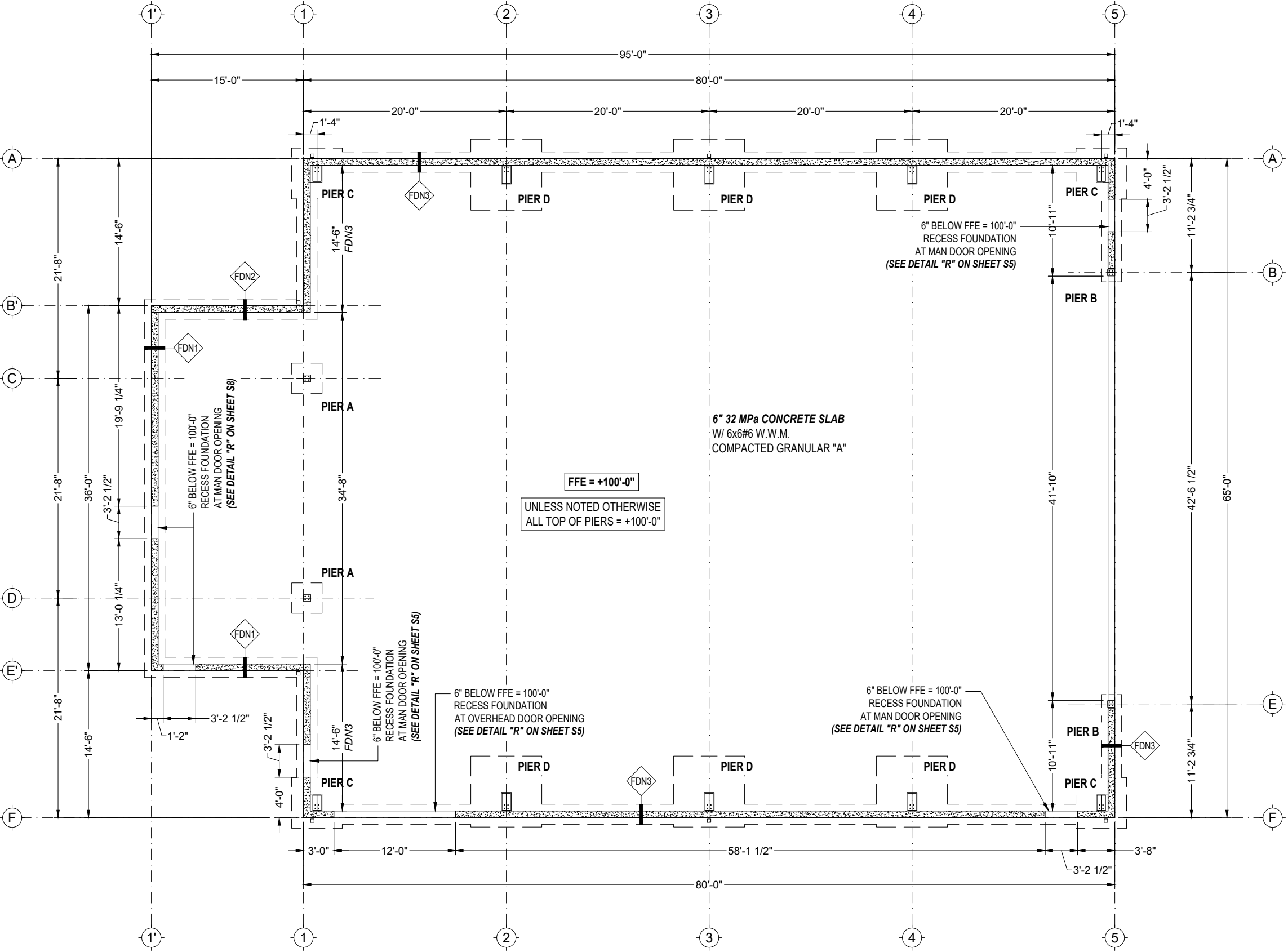
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SHEET TITLE:

FOUNDATION PLAN

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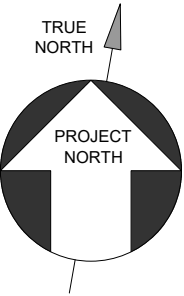
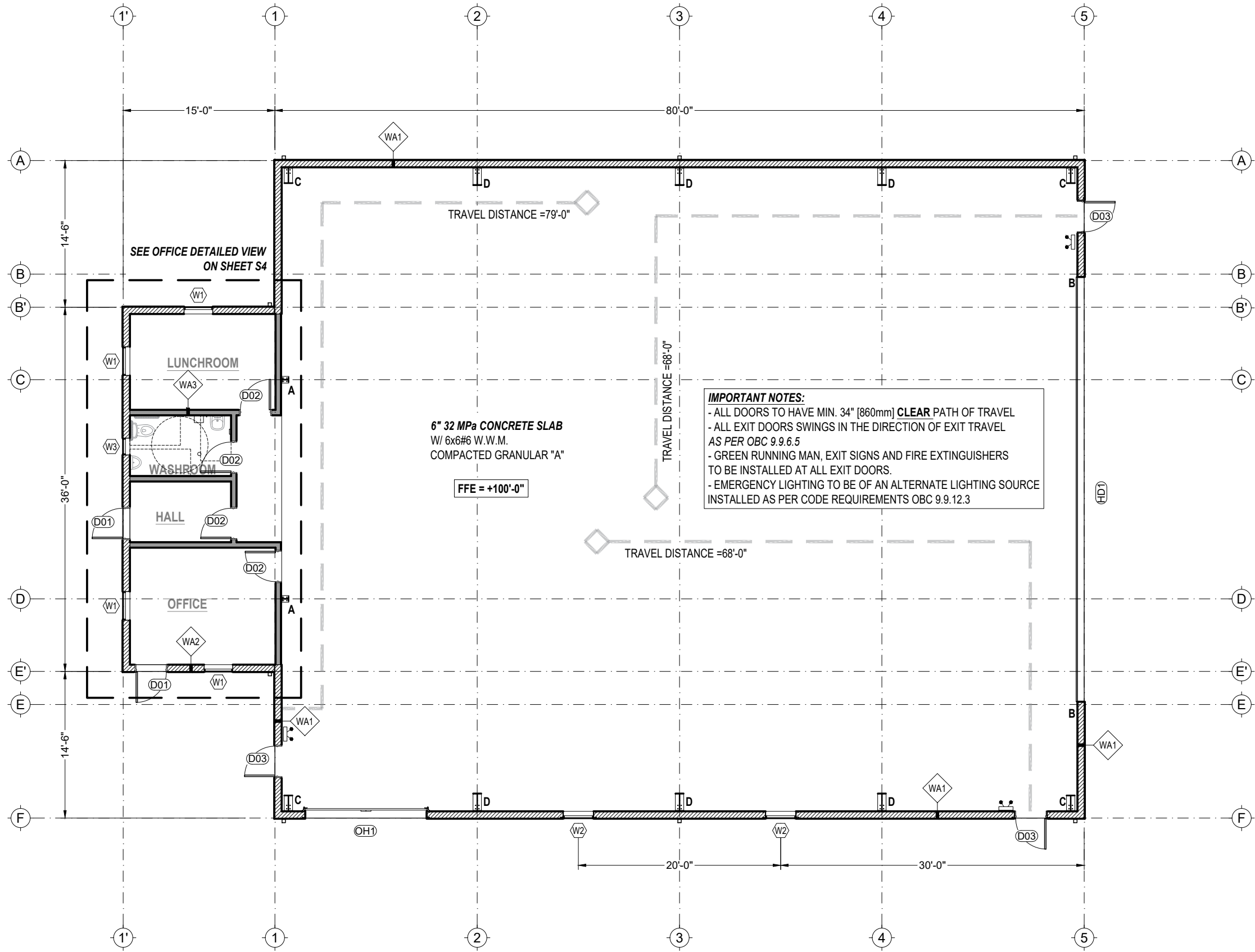


FOUNDATION PLAN
SCALE 3/32" = 1'-0"

**ALWAYS REFER TO PRE-ENGINEERED STEEL SHOP
DRAWINGS FOR LAYOUT AND ANCHOR BOLT
CONFIGURATION CONFIRMATION**

IMPORTANT NOTE:
STEP FOOTING (IF REQUIRED) TO BE DETERMINED
BY CONTRACTOR ON SITE TO KEEP
FROST COVER

FLOOR PLAN
SCALE 3/32" = 1'-0"



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519-323-1527
Since 2017

OWNER:
MAYNARD AND VERA SHANTZ
123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

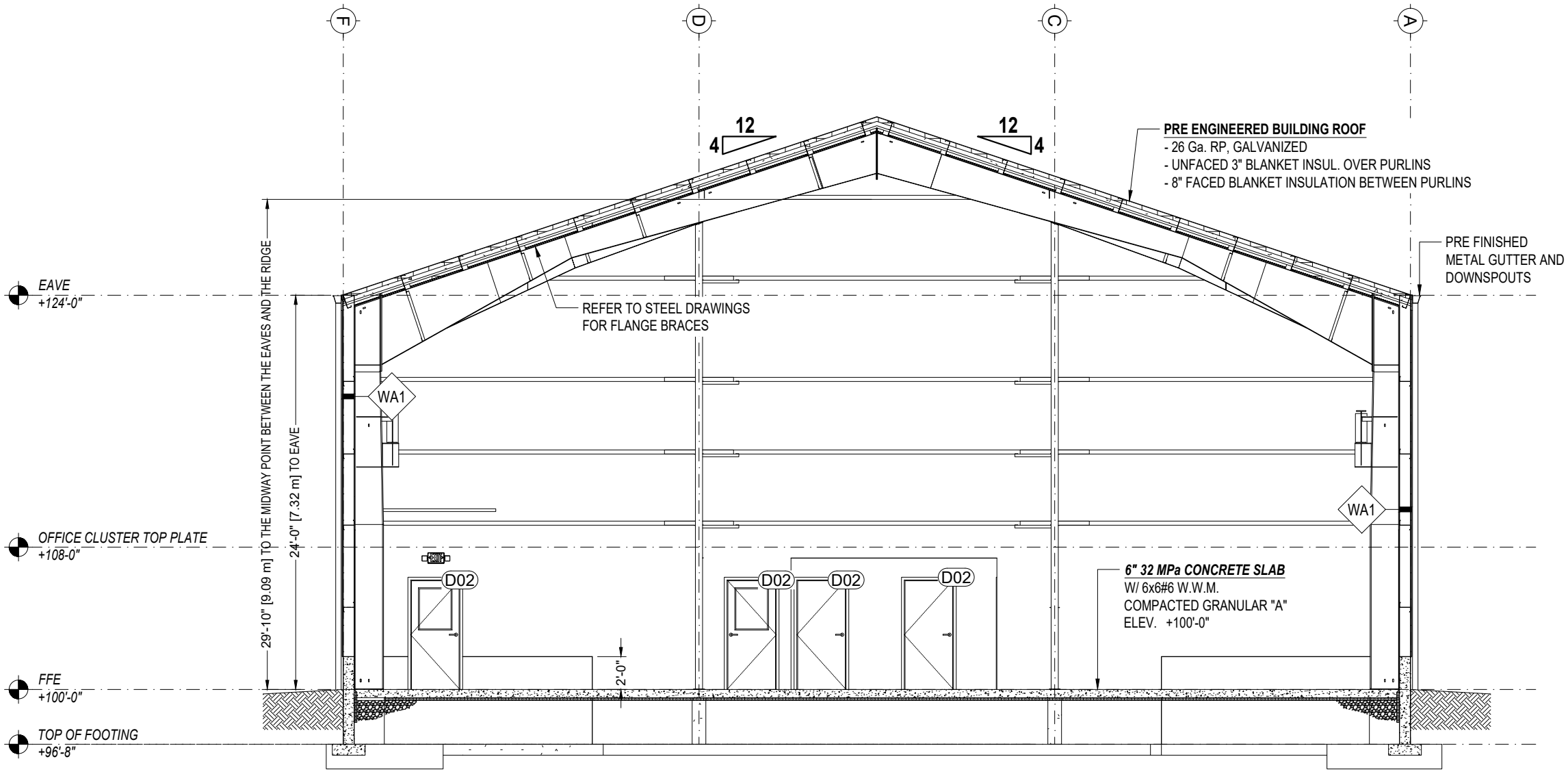
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123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

SHEET TITLE:
FLOOR PLAN

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SECTION "A" (BUILDING SECTION)
SCALE 3/32" = 1'-0"

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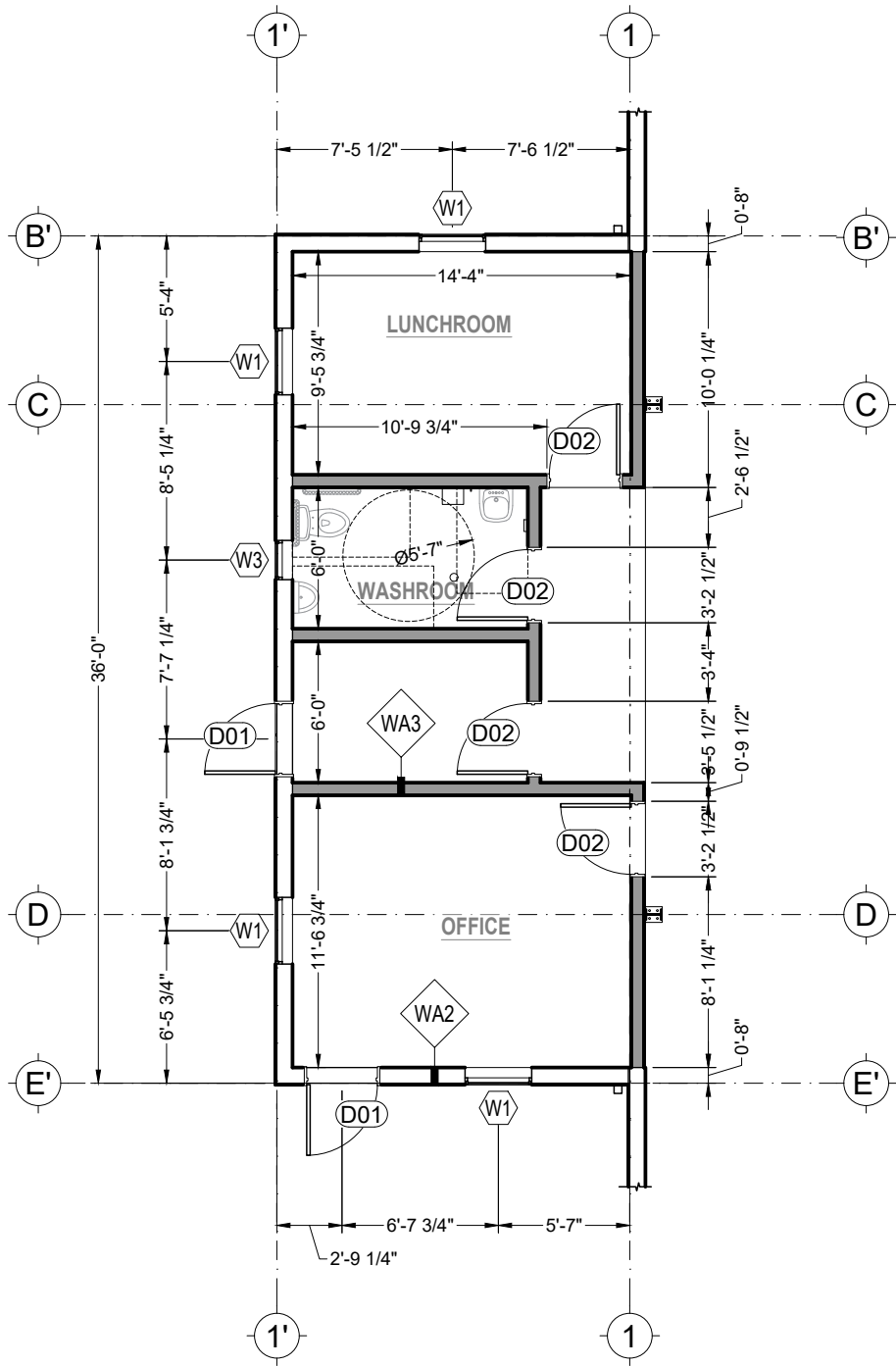
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SECTION "A" (BUILDING SECTION)

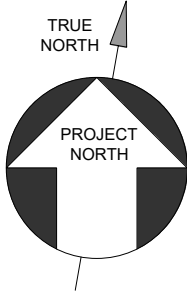
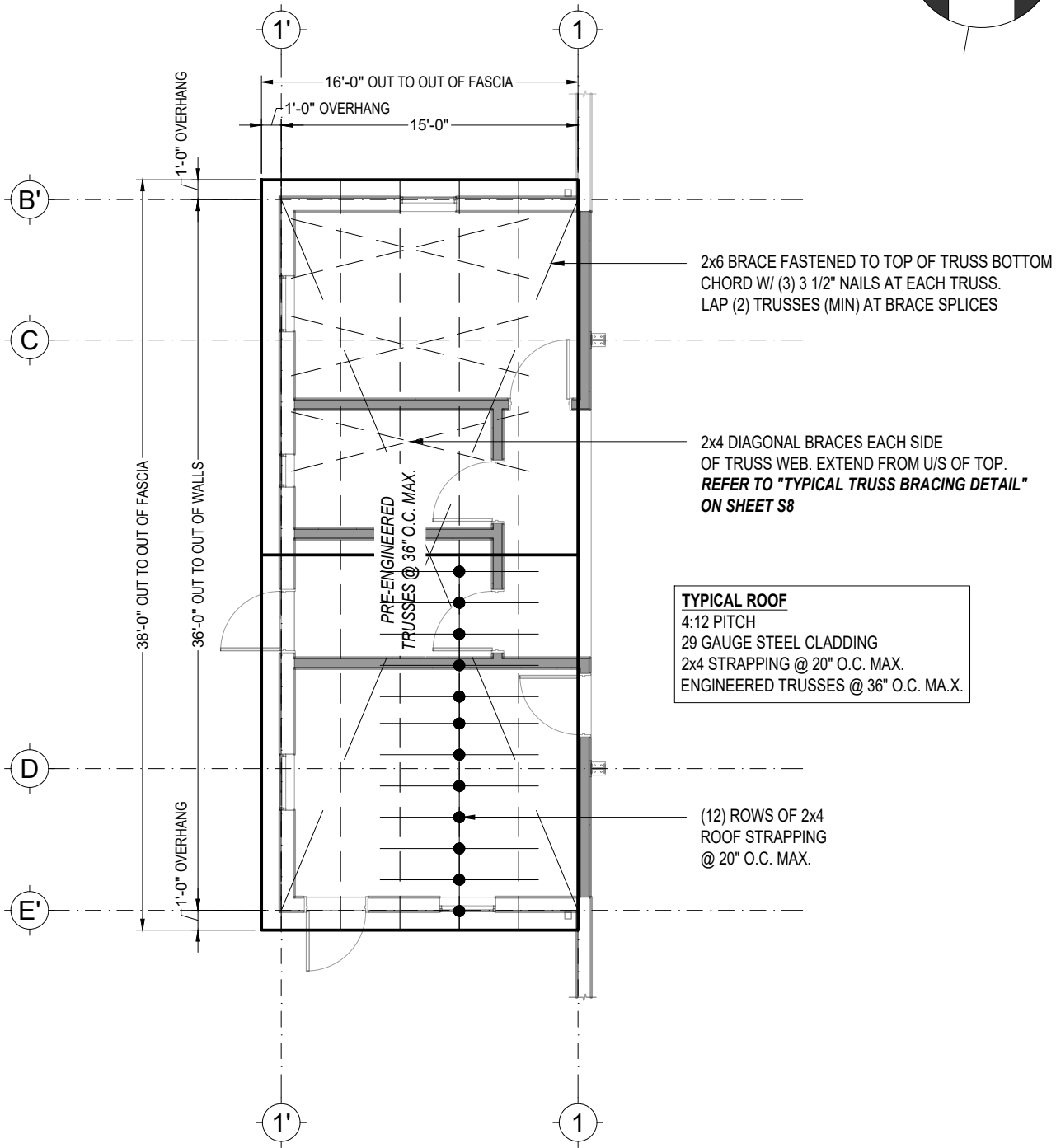
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DATE:	OCT. 21, 2025		
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OFFICE FLOOR PLAN
SCALE 1/8" = 1'-0"



OFFICE ROOF PLAN
SCALE 1/8" = 1'-0"



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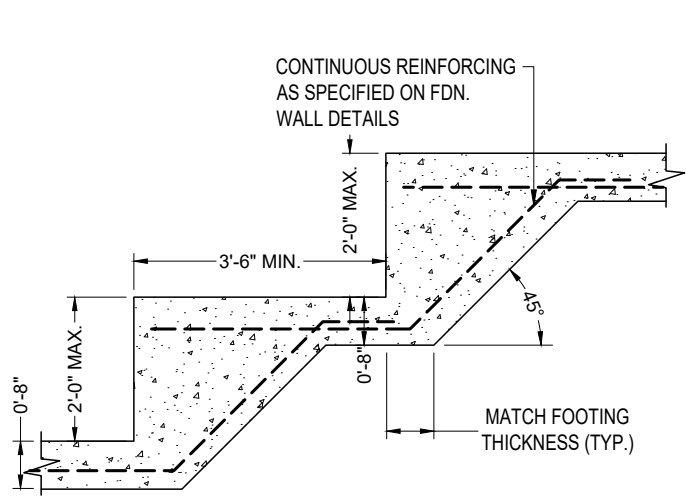
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HOLSTEIN, ONTARIO N0G 2A0

PROJECT NAME / LOCATION:
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HOLSTEIN, ONTARIO N0G 2A0

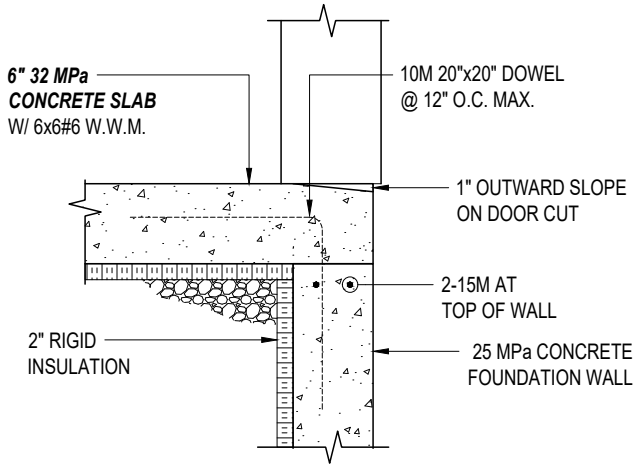
SHEET TITLE:
OFFICE FLOOR PLAN + OFFICE ROOF PLAN

DWG FILE:	2025.131 - Maynard and Vera Shantz - New Work Shop		
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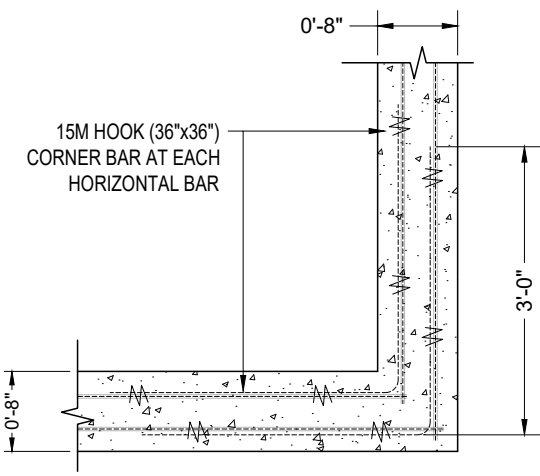
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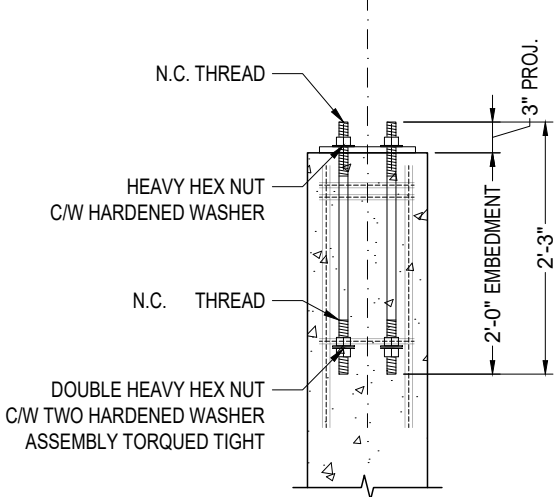
TYPICAL STEPPED FOUNDATION DETAIL
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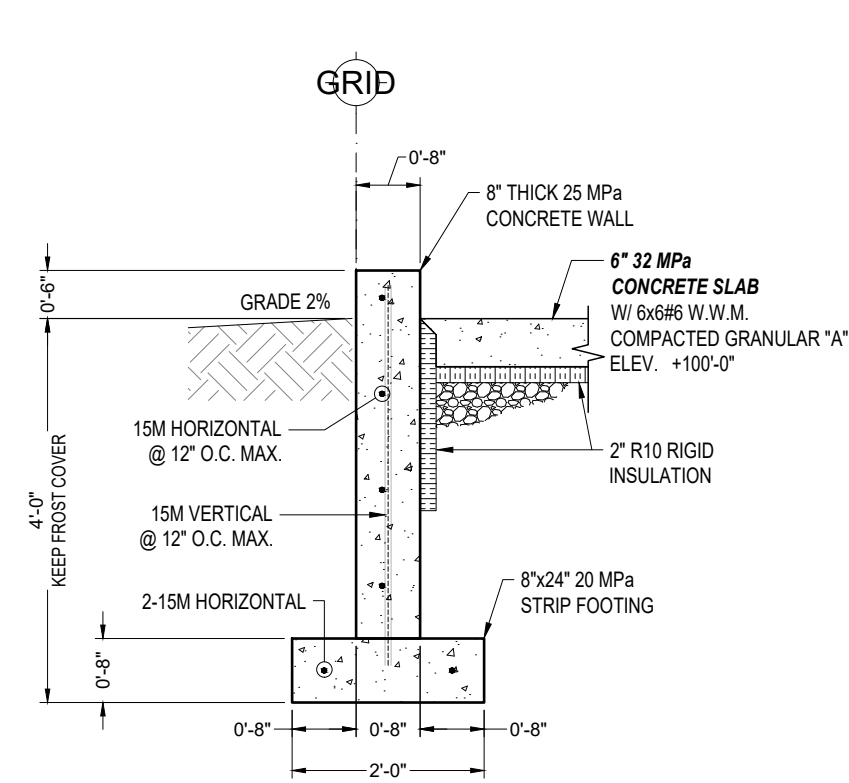
DETAIL "R" RECESS FOUNDATION
SCALE 1/2" = 1'-0"



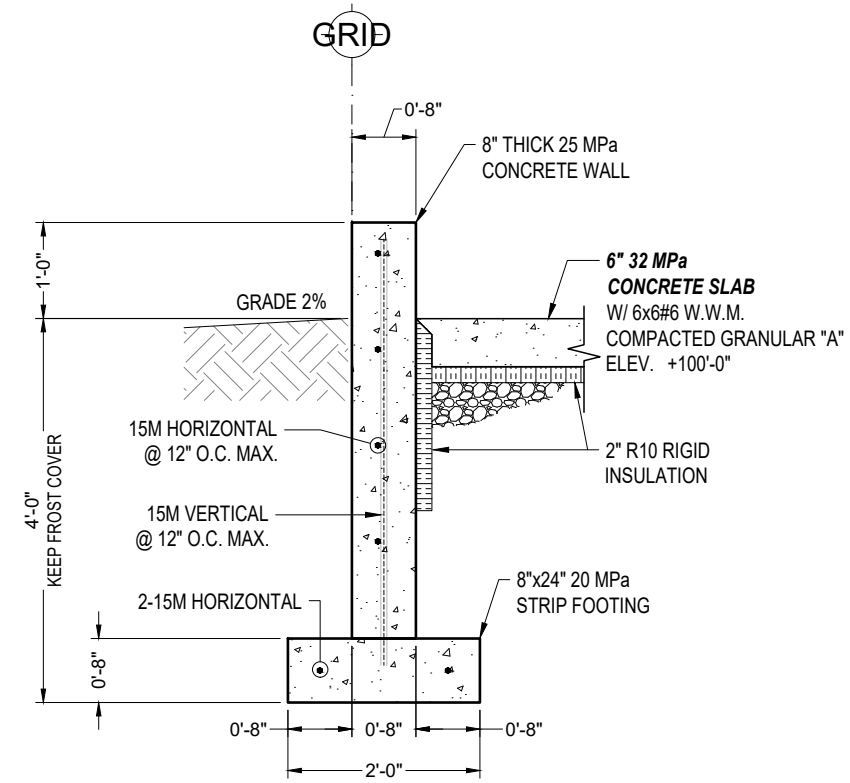
TYPICAL FOUNDATION WALL CORNER
SCALE 1/2" = 1'-0"



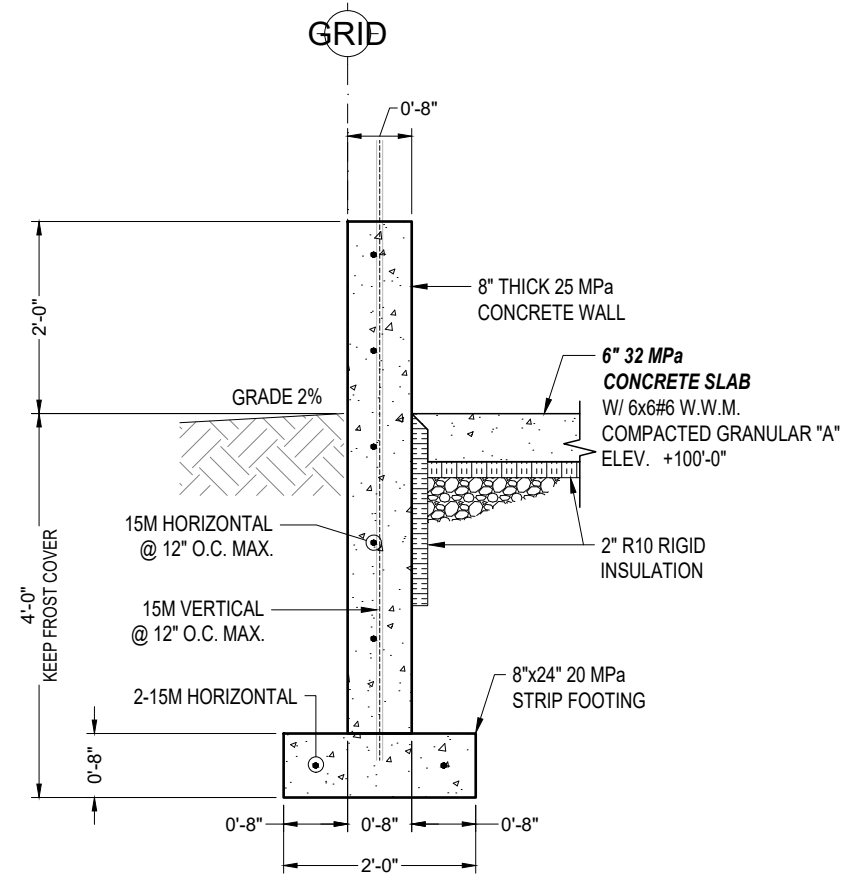
TYPICAL FOUNDATION WALL CORNER
SCALE 3/4" = 1'-0"



FDN1 DETAIL
SCALE 1/2" = 1'-0"



FDN3 DETAIL
SCALE 1/2" = 1'-0"



FDN3 DETAIL
SCALE 1/2" = 1'-0"

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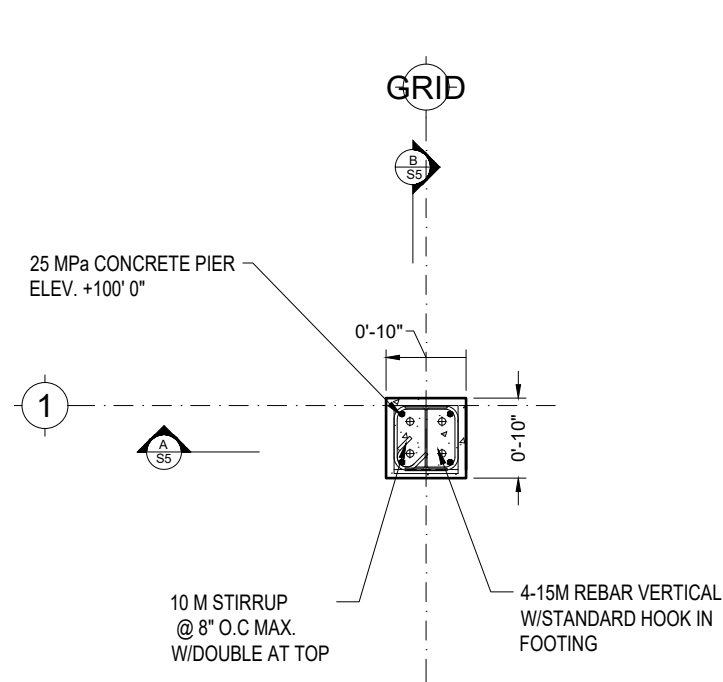
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PROJECT NAME / LOCATION:
65'x80' WORKSHOP
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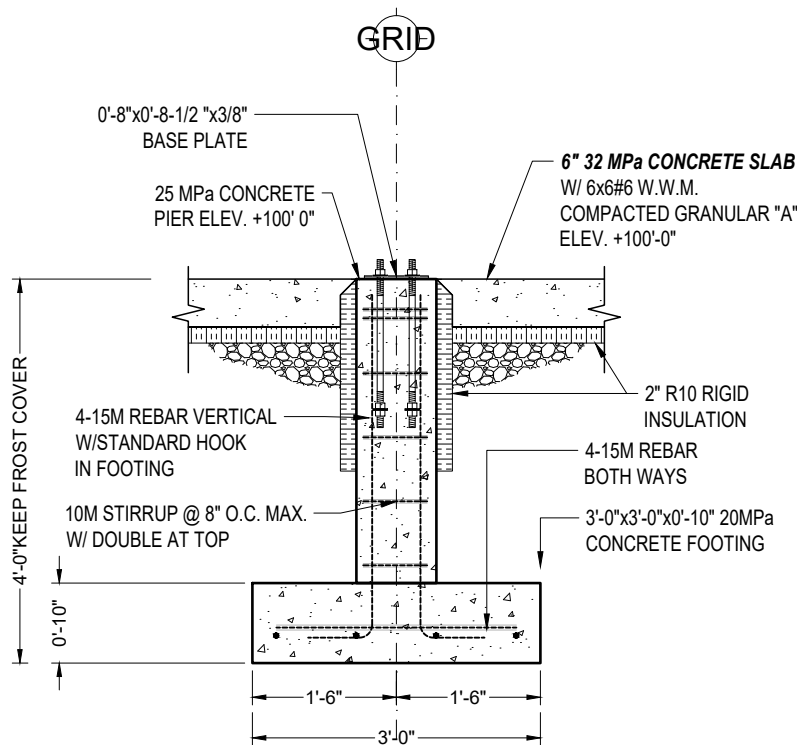
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STRUCTURAL DETAILS #1

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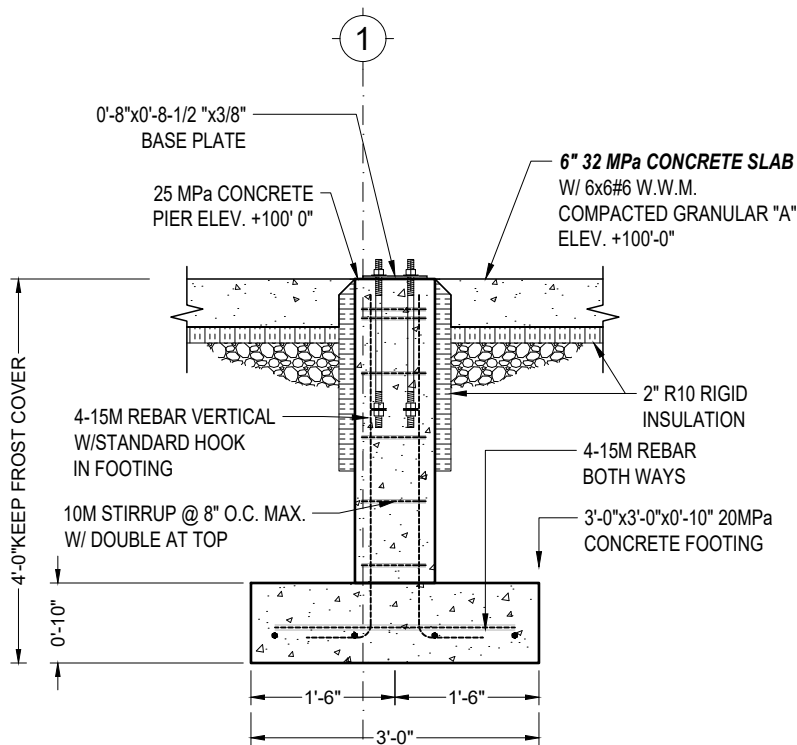
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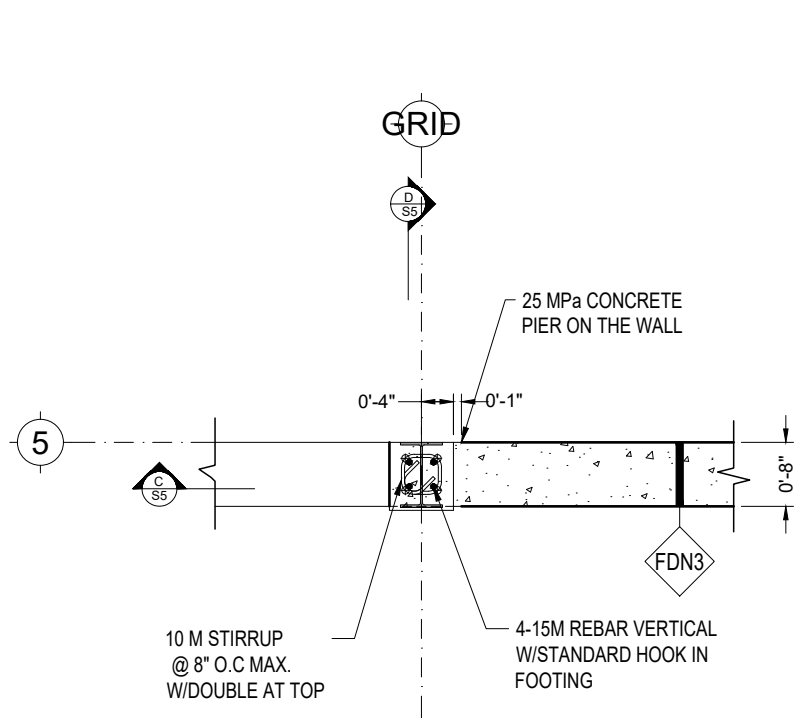
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SCALE 1/2" = 1'-0"



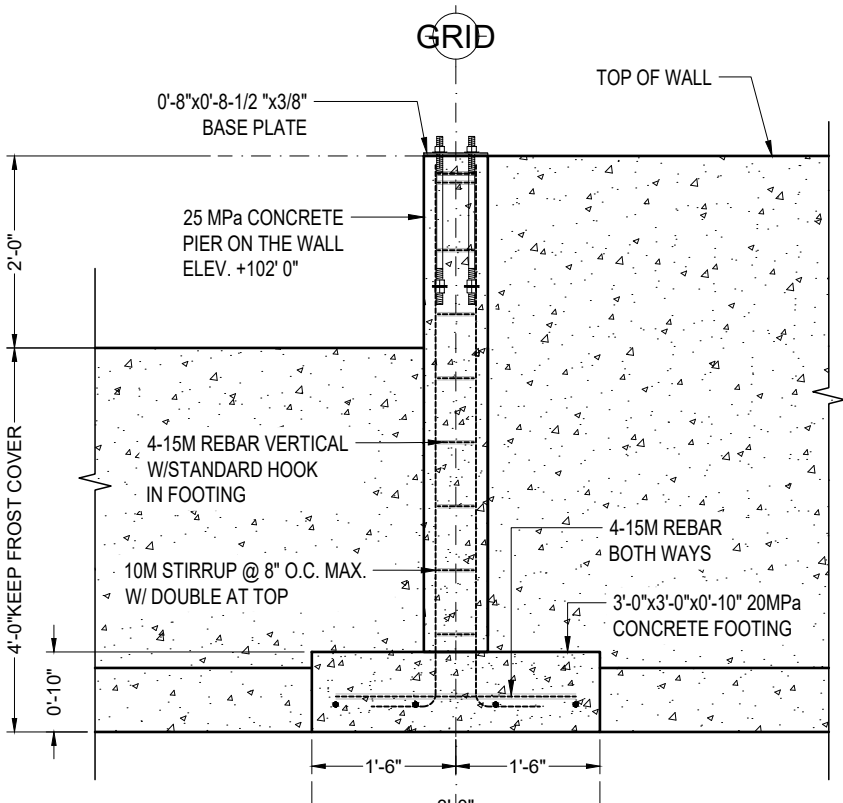
PIER "A" SECTION A
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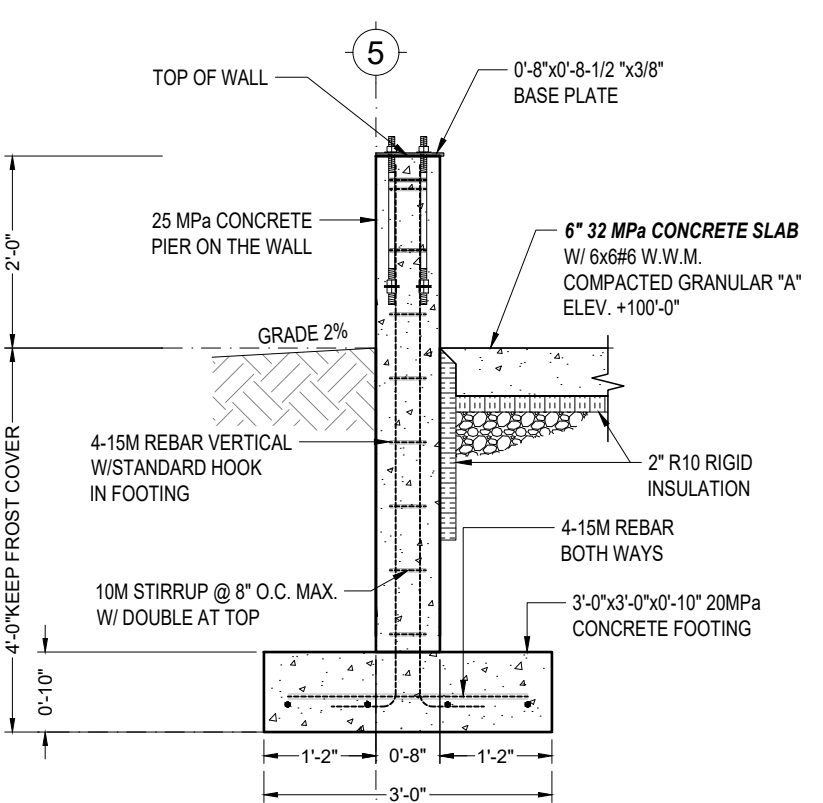
PIER "A" SECTION B
SCALE 1/2" = 1'-0"



PIER "B" TOP VIEW
SCALE 1/2" = 1'-0"



PIER "B" SECTION C
SCALE 1/2" = 1'-0"



PIER "B" SECTION D
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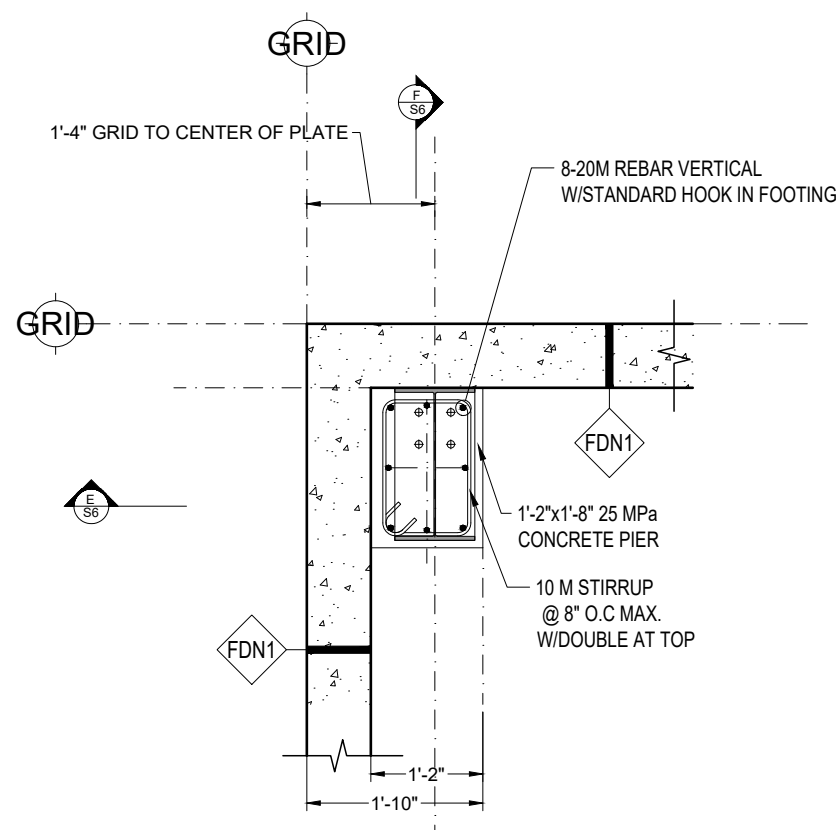
OWNER:
MAYNARD AND VERA SHANTZ
123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

PROJECT NAME / LOCATION:
65'x80' WORKSHOP
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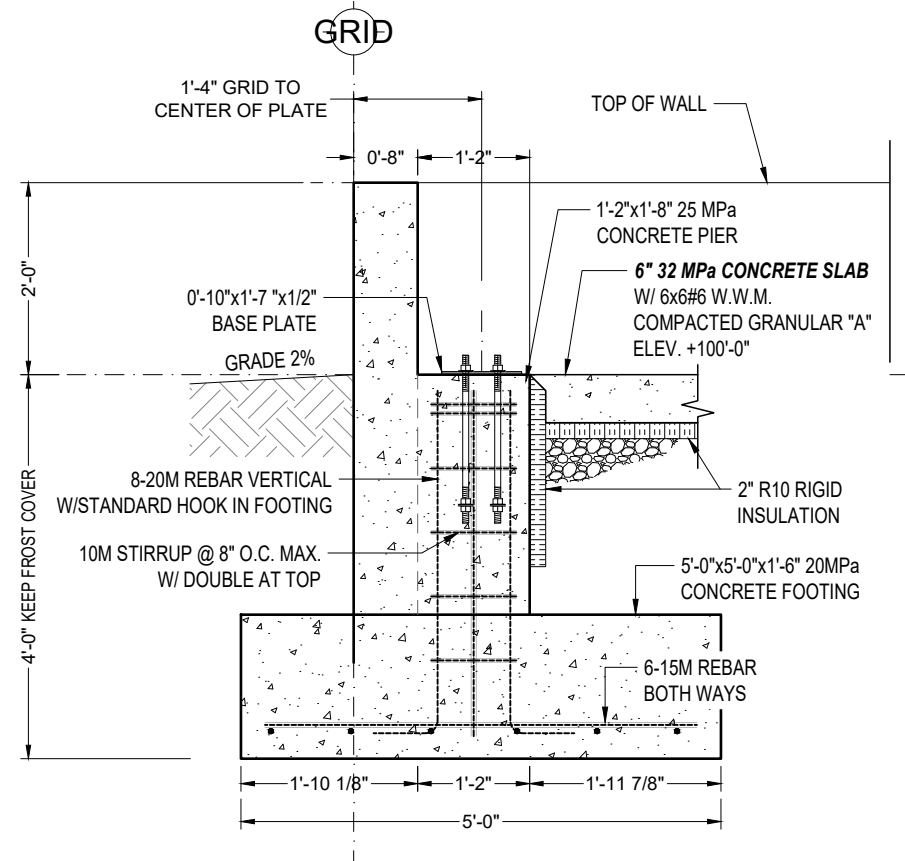
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STRUCTURAL DETAILS #2

DWG FILE:	2025.131 - Maynard and Vera Shantz - New Work Shop		
DRAWN BY:	E.V.M.	JOB#:	2025.131
CHECKED BY:	H.B.	S6	
REVISION:	N/A		
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SCALE:	AS NOTED		

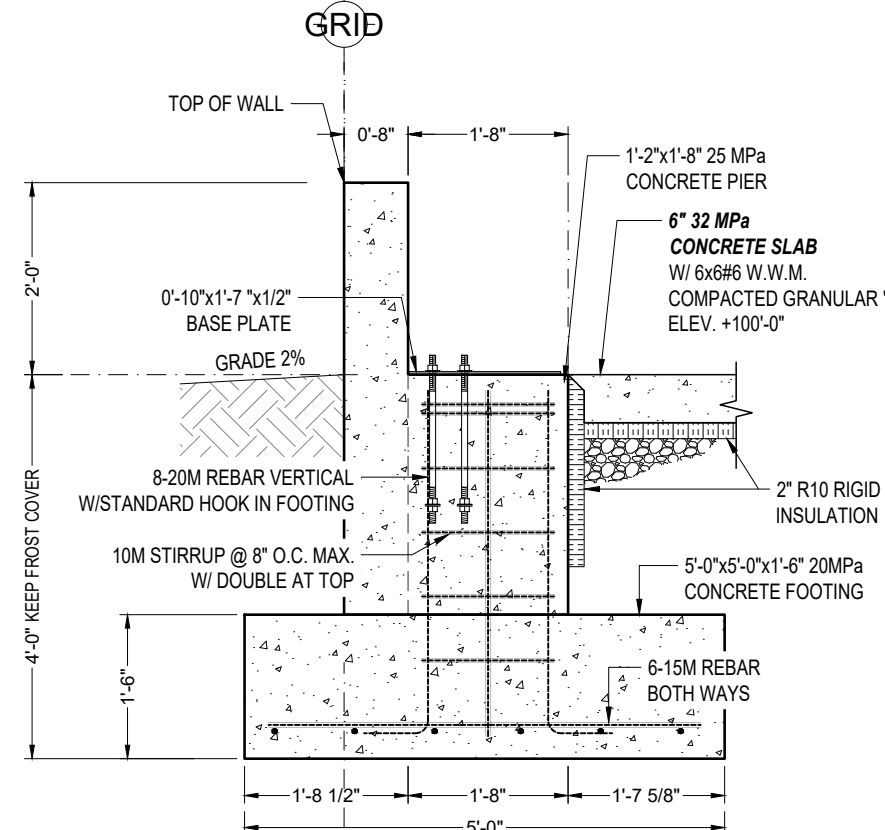
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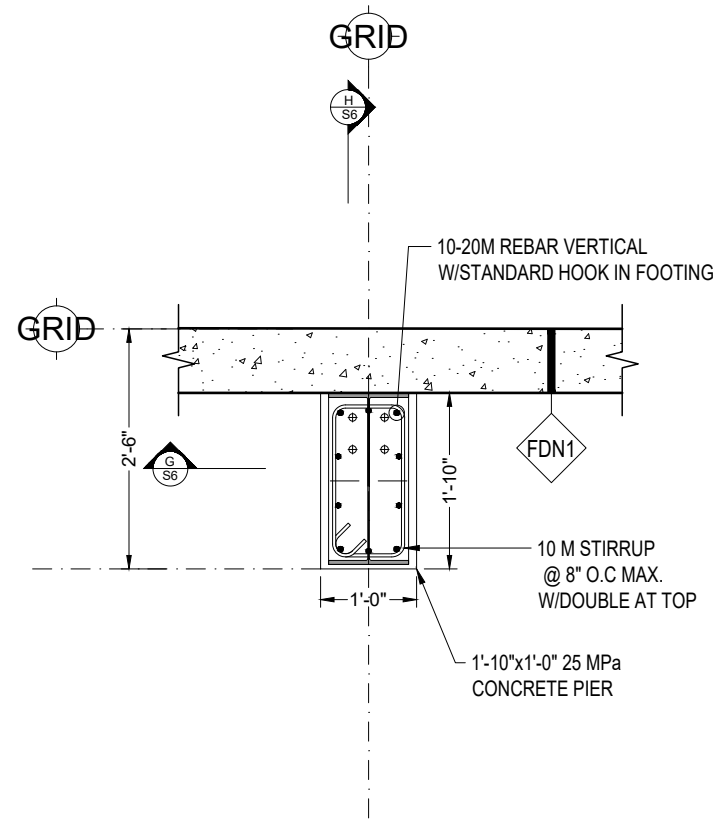
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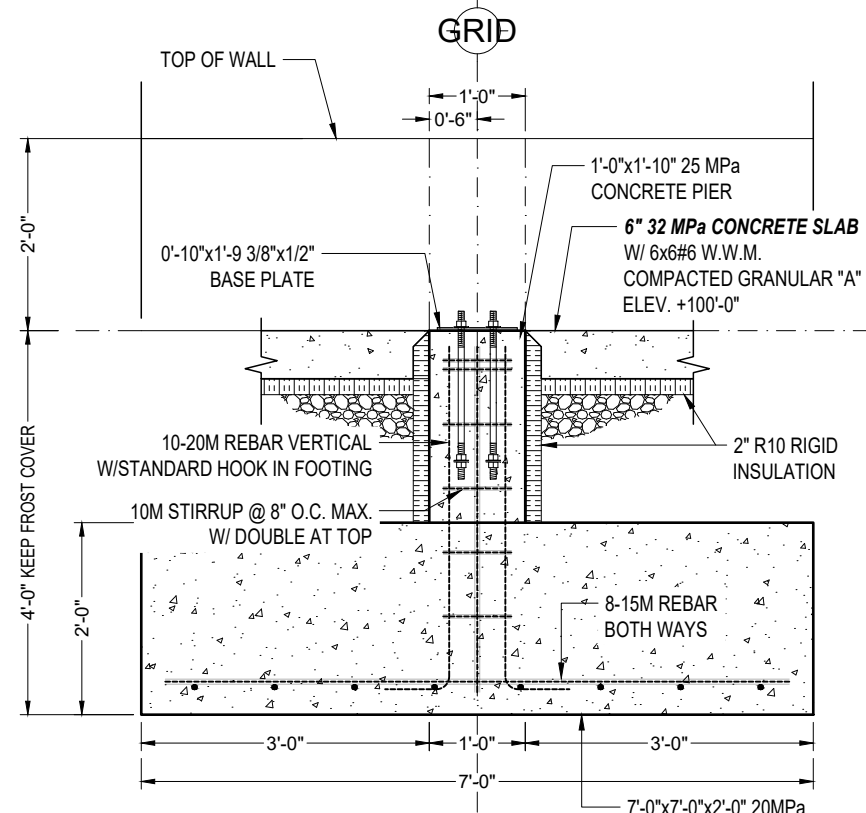
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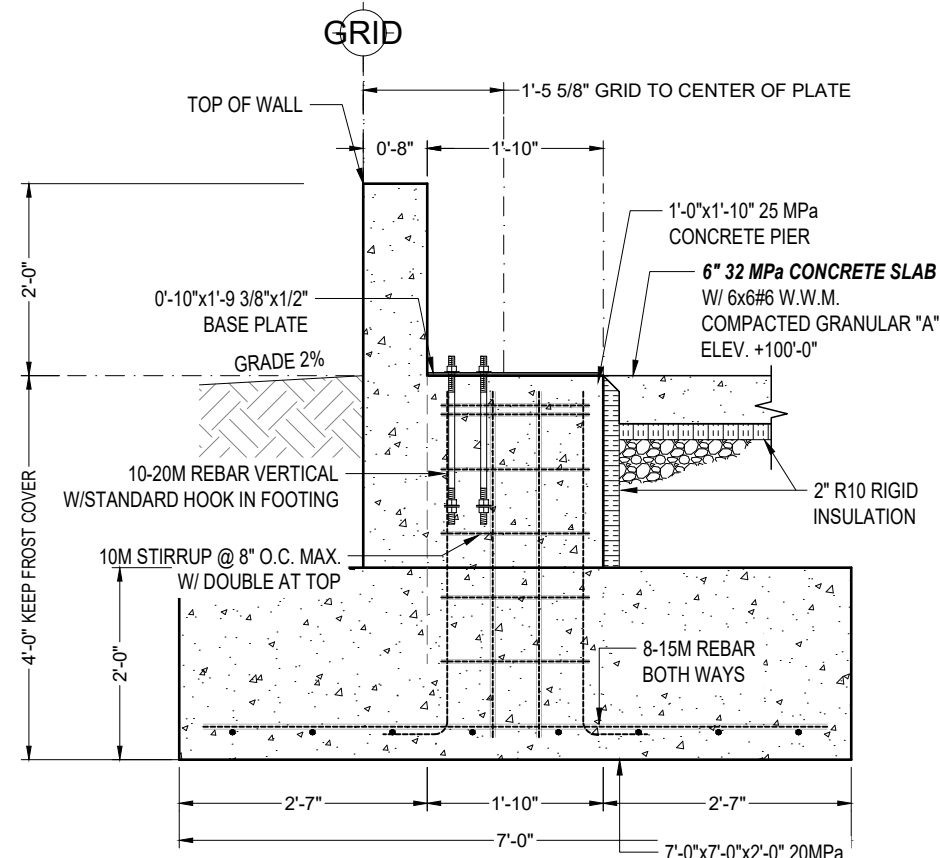
PIER "C" SECTION F
SCALE 1/2" = 1'-0"



PIER "D" TOP VIEW
SCALE 1/2" = 1'-0"



PIER "D" SECTION G
SCALE 1/2" = 1'-0"



PIER "D" SECTION H
SCALE 1/2" = 1'-0"

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123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

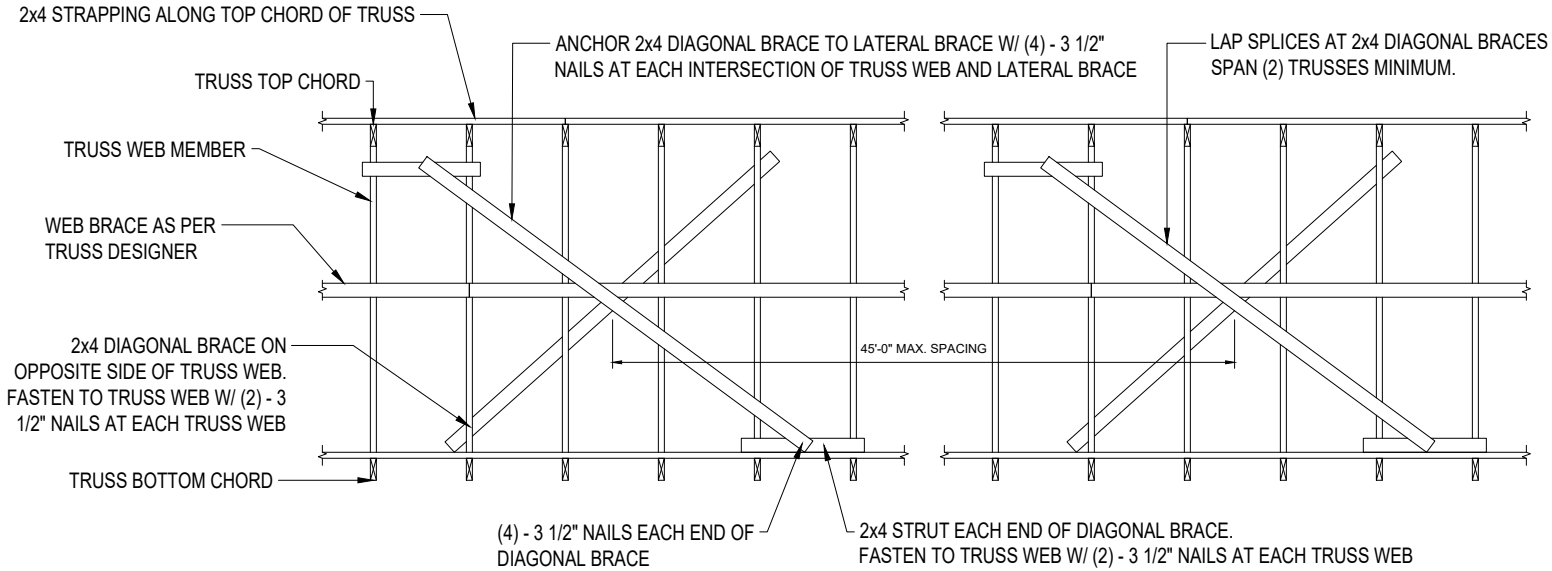
SHEET TITLE:

STRUCTURAL DETAILS #3

DWG FILE:	2025.131 - Maynard and Vera Shantz - New Work Shop		
DRAWN BY:	E.V.M.	JOB#:	2025.131
CHECKED BY:	H.B.	S7	
REVISION:	N/A		
DATE:	OCT. 21, 2025		
SCALE:	AS NOTED		

SHEET SIZE = 17" x 11" - DO NOT SCALE DRAWINGS

TYPICAL TRUSS BRACING DETAIL
SCALE 1/4" = 1'-0"



DOOR AND WINDOW SCHEDULE					
TAG	DESCRIPTION	LINTEL SIZE	WALL STUD SIZE	BEARING MEMBER SIZE	QTY
OH1	12' WIDE x 10' TALL INSULATED OVERHEAD DOOR	REFER TO P25072401 DRAWINGS	-	REFER TO P25072401 DRAWINGS	1 PC.
HD1	42' WIDE x 16' TALL INSULATED HYDRAULIC DOOR	REFER TO P25072401 DRAWINGS	-	REFER TO P25072401 DRAWINGS	1 PC.
D01	38"x80" EXTERIOR MAN DOOR (BARRIER FREE)	(2) 2x6 SPF No. 2	2x6	(2) 2x6 JACK STUD + (1) 2x6 KING STUD	2 PC.
D02	38"x80" INTERIOR MAN DOOR (BARRIER FREE)	(2) 2x6 SPF No. 2	2x6	(1) 2x6 JACK STUD + (1) 2x6 KING STUD	4PC.
D03	38"x80" EXTERIOR MAN DOOR (BARRIER FREE)	REFER TO P25072401 DRAWINGS	-	REFER TO P25072401 DRAWINGS	3 PC.
W1	34"x52" WINDOW	(2) 2x6 SPF No. 2	2x6	(2) 2x6 JACK STUD + (1) 2x6 KING STUD	4 PC.
W2	36"x48" WINDOW	REFER TO P25072401 DRAWINGS	-	REFER TO P25072401 DRAWINGS	2 PC.
W3	20"x30" WINDOW	(2) 2x6 SPF No. 2	2x6	(1) 2x6 JACK STUD + (1) 2x6 KING STUD	1 PC.

NAILING TO FRAMING			
TAG	CONSTRUCTION DETAIL	MIN. LENGTH OF NAILS	MIN. NUMBER OR MAX SPACING OF NAILS
1.	STUD TO WALL PLATE (EACH END) END NAILED	3 1/4" (82mm)	3
2.	DOUBLED STUDS AT OPENINGS, OR STUDS AT WALLS OR WALL INTERSECTIONS AND CORNERS	3" (76mm)	30" (750mm) O.C.
3.	DOUBLED TOP WALL PLATES	3" (76mm)	24" (600mm) O.C.
4.	INTERIOR WALLS TO FRAMING OR SUBFLOORING	3 1/4" (82mm)	24" (600mm) O.C.
5.	HORIZONTAL MEMBER OVER OPENINGS IN NON-LOADBEARING WALLS – EACH END	3 1/4" (82mm)	2
6.	LINTELS TO STUDS	3 1/4" (82mm)	4 AT EACH END

WALL SCHEDULE			
TAG	DESCRIPTION	SECTION VIEW	CONSTRUCTION DETAIL
WA1	EXTERIOR STEEL WALL		- 26 GA. STEEL CLADDING - 8" STEEL GIRTS - INSULATION - 29 Ga. PRE-FINISHED METAL LINER
WA2	EXTERIOR 2x6 WALL		- 26 GA. STEEL CLADDING - 7/16 FIR PLYWOOD - 2x6 STUDS @ 24" O.C. MAX. - HORIZONTAL BLOCKING @ 48" O.C. MAX. - R-22 INSULATION - 1/2" DRYWALL - SINGLE BOTTOM PLATE & DOUBLE TOP PLATE - SILL PLATE W/SILL GASKET - 1/2"x5" ANCHORS @ 48" O.C.
WA3	INTERIOR 2x4 WALL		- 1/2" DRYWALL - 2x4 STUDS @ 24" O.C. MAX. - HORIZONTAL BLOCKING @ 48" O.C. MAX. - 1/2" DRYWALL - SINGLE BOTTOM PLATE & DOUBLE TOP PLATE - SILL PLATE W/SILL GASKET - 1/2"x5" ANCHORS @ 48" O.C.

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OCT 21, 2025	FOR PERMIT	R.M.M.	H.B.	

ENGINEER:

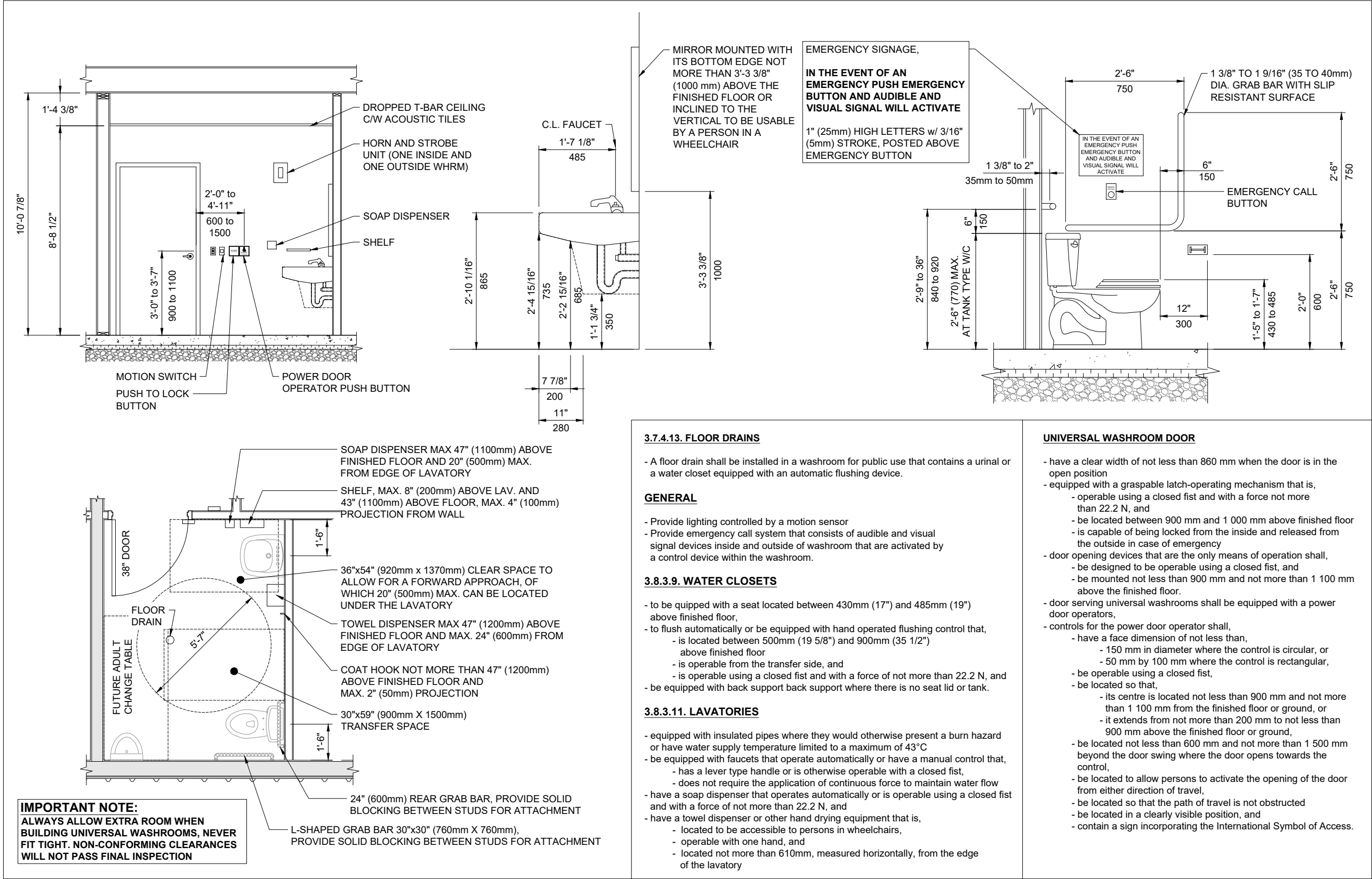
OWNER:
MAYNARD AND VERA SHANTZ
123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

PROJECT NAME / LOCATION:
65'x80' WORKSHOP
123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

SHEET TITLE: STRUCTURAL DETAILS #4			
DWG FILE:	2025.131 - Maynard and Vera Shantz - New Work Shop		
DRAWN BY:	E.V.M.	JOB#:	2025.131
CHECKED BY:	H.B.	S8	
REVISION:	N/A		
DATE:	OCT. 21, 2025		
SCALE:	AS NOTED		

SHEET SIZE = 17" x 11" - DO NOT SCALE DRAWINGS

UNIVERSAL WASHROOM DETAILS
SCALE N.T.S.



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OWNER:

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123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

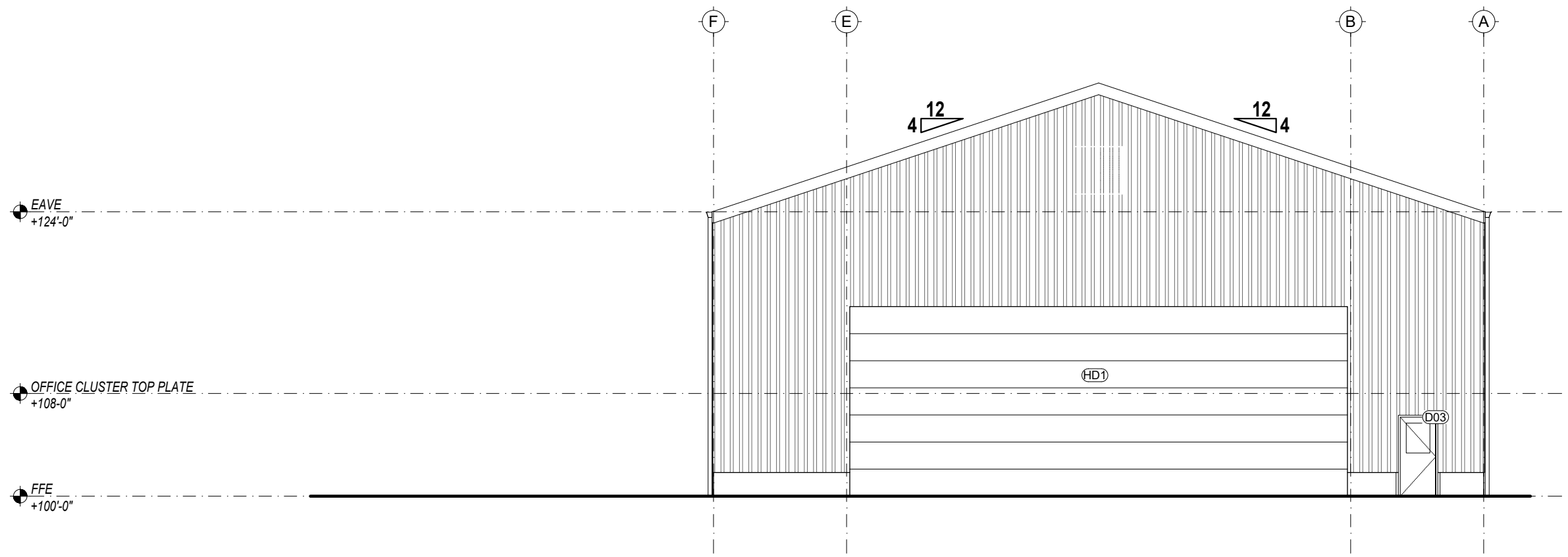
PROJECT NAME / LOCATION:

65'x80' WORKSHOP
123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

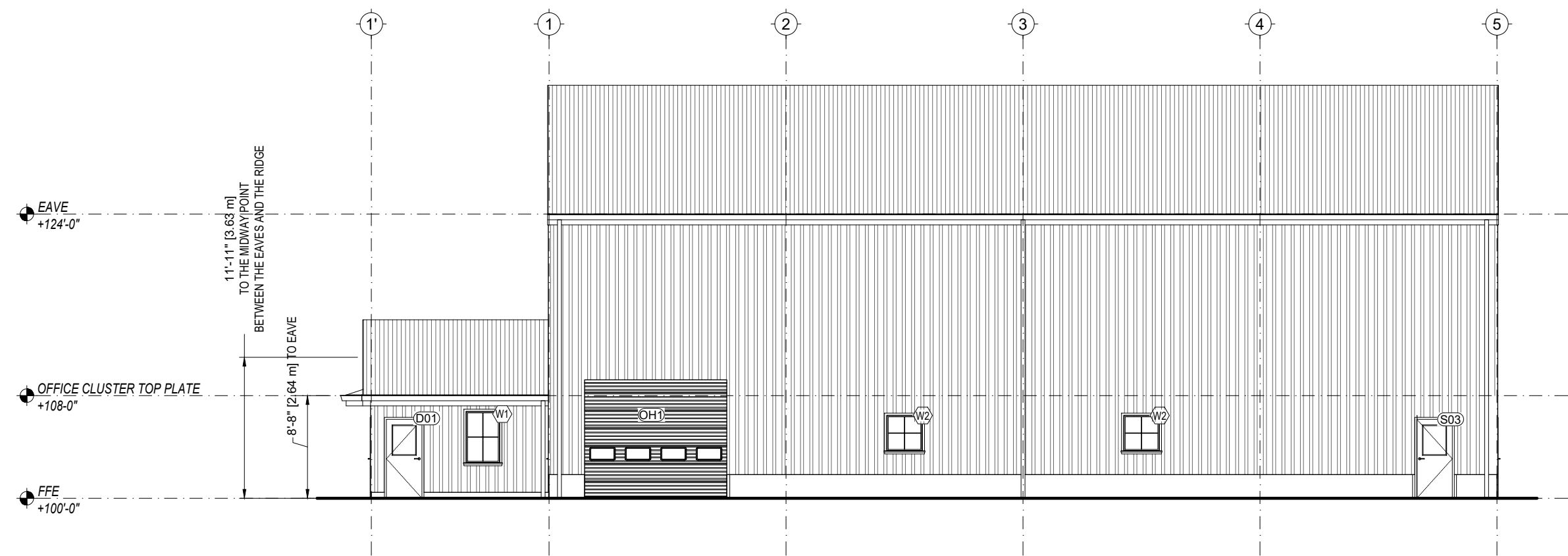
SHEET TITLE:				
UNIVERSAL WASHROOM				
DWG FILE:	2025.131 - Maynard and Vera Shantz - New Work Shop			
DRAWN BY:	E.V.M.	JOB#:	2025.131	
CHECKED BY:	H.B.			
REVISION:	N/A			
DATE:	OCT. 21, 2025			
SCALE:	AS NOTED			

SHEET SIZE = 17" x 11" - DO NOT SCALE DRAWINGS

SOUTH ELEVATION
SCALE 3/32" = 1'-0"



WEST ELEVATION
SCALE 3/32" = 1'-0"



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ENGINEER:



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OWNER:
MAYNARD AND VERA SHANTZ
123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

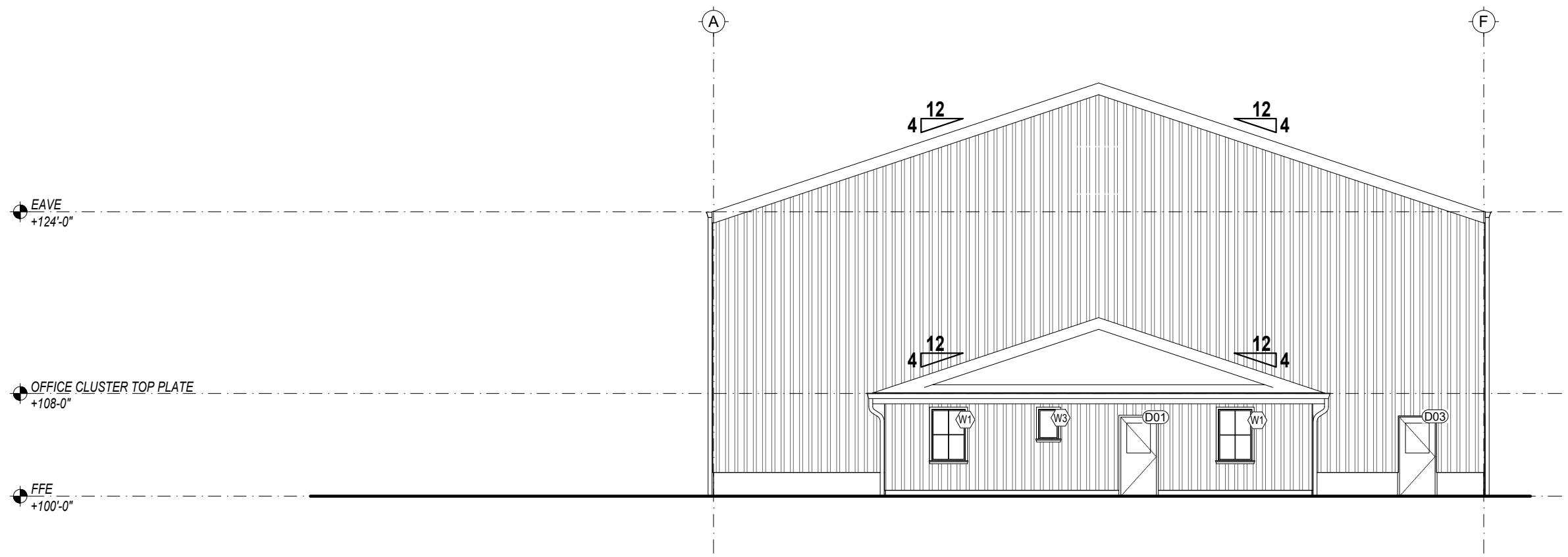
PROJECT NAME / LOCATION:
65'x80' WORKSHOP
123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

SHEET TITLE:
WEST ELEVATION + SOUTH ELEVATION

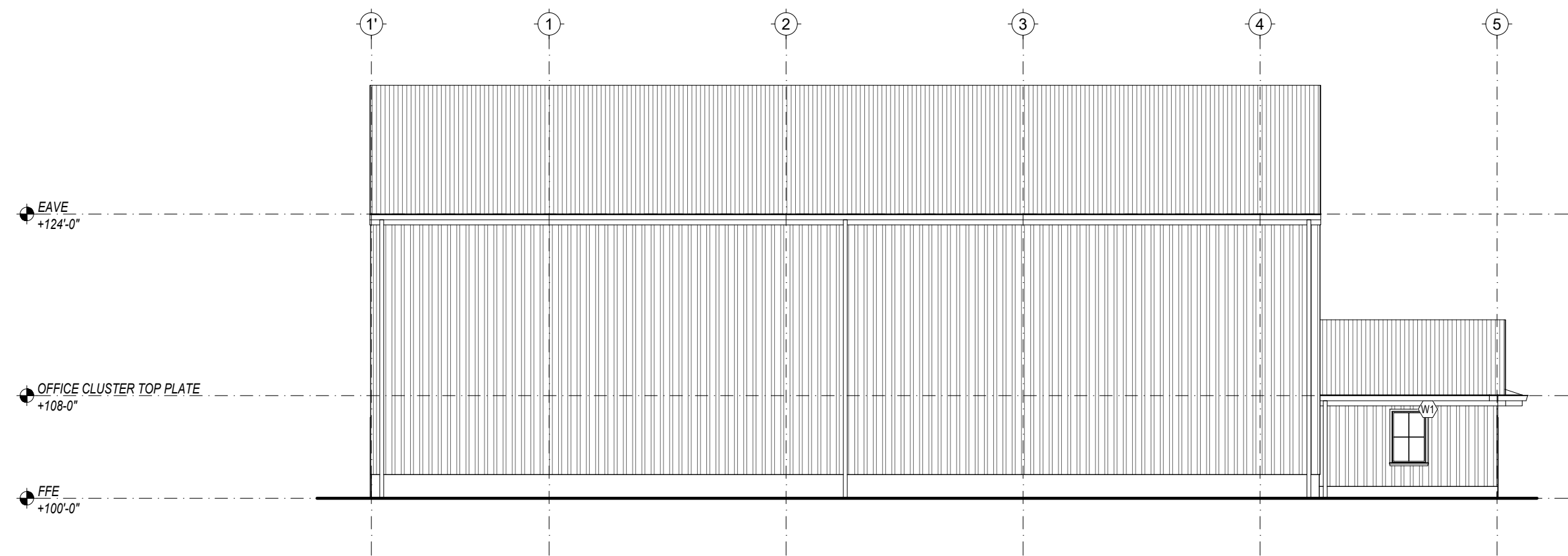
DWG FILE:	2025.131 - Maynard and Vera Shantz - New Work Shop		
DRAWN BY:	R.M.M.	JOB#:	2025.131
CHECKED BY:	H.B.	S10	
REVISION:	N/A		
DATE:	OCT. 21, 2025		
SCALE:	AS NOTED		

SHEET SIZE = 17" x 11" - DO NOT SCALE DRAWINGS

NORTH ELEVATION
SCALE 3/32" = 1'-0"



EAST ELEVATION
SCALE 3/32" = 1'-0"



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OWNER:
MAYNARD AND VERA SHANTZ
123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

PROJECT NAME / LOCATION:
65'x80' WORKSHOP
123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

SHEET TITLE:
EAST ELEVATION + NORTH ELEVATION

DWG FILE:	2025.131 - Maynard and Vera Shantz - New Work Shop		
DRAWN BY:	R.M.M.	JOB#:	2025.131
CHECKED BY:	H.B.	S11	
REVISION:	N/A		
DATE:	OCT. 21, 2025		
SCALE:	AS NOTED		

SHEET SIZE = 17" x 11" - DO NOT SCALE DRAWINGS



NORTH WEST VIEW
SCALE N.T.S.



SOUTH WEST VIEW
SCALE N.T.S.

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Since 2017

OWNER:
MAYNARD AND VERA SHANTZ
123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

PROJECT NAME / LOCATION:
65'x80' WORKSHOP
123812 SOUTHGATE ROAD 12
HOLSTEIN, ONTARIO N0G 2A0

SHEET TITLE:
RENDERS #1

DWG FILE:	2025.131 - Maynard and Vera Shantz - New Work Shop		
DRAWN BY:	R.M.M.	JOB#:	2025.131
CHECKED BY:	H.B.	S12	
REVISION:	N/A		
DATE:	OCT. 21, 2025		
SCALE:	AS NOTED		

SHEET SIZE = 17" x 11" - DO NOT SCALE DRAWINGS